

LONDON BOROUGH OF ENFIELD**PLANNING COMMITTEE****Date:** 22 March 2022**Report of** Head of Planning
- Vincent Lacovara**Contact Officer:**
Andy Higham
Joseph McKee
joseph.mckee@enfield.gov.uk**Ward:** Ponders
End/Enfield
Highway**Application Number:** 21/04791/RM**Category:** Major**LOCATION:** Exeter Road Estate, Exeter Road, Enfield, EN3 7TW

PROPOSAL: Details of reserved matters (appearance and landscape) for phases 2 and 3 of the Exeter Road Estate development, pursuant to Condition 3 of outline planning permission 21/02076/OUT, comprising the refurbishment and extension of Crediton House and Ashburton House and construction of two development blocks along Exeter Road comprising 83 residential dwellings (Use Class C3) with associated means of access, car and cycle parking, hard and soft landscaping, play, public, communal and private realm, highways works, and other associated works and improvements, including works to existing parking podiums and landscape enhancement works to Durants Park.

Applicant Name & Address:
LBE Housing**Agent Name & Address:**
HTA, 78 Chamber Street, London, E1 8BL**RECOMMENDATION:**

1. That the Head of Development Management be authorised to GRANT planning permission subject to conditions.
2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

1. Note for Members

- 1.1 This planning application is categorised as a 'major' planning application and the Council is the landowner and the applicant. In accordance with the scheme of delegation it is reported to Planning Committee for determination.

2. Recommendation

- 2.1. That the Head of Development Management be authorised to **GRANT** planning permission subject to conditions; and
- 2.2. That delegated authority be granted to the Head of Development Management to finalise the wording of the of the recommended conditions as set out in this report:
1. Approved drawings
 2. Wheelchair user dwellings
 3. Landscaping
 4. External materials
 5. Full podiums elevational detail
 6. Information parking bay buffers along Exeter Road
 7. Compliance with fire strategy
 8. Energy strategy compliance and verification

3. Executive Summary

- 3.1. Members resolved to grant planning permission through a hybrid planning application (ref. 21/02076/OUT) comprising 129 new homes and associated works at 31st August 2021 Planning Committee. The planning permission was issued on 22nd December 2021 following finalisation of the Shadow S106 Agreement. Full planning permission was granted for Phase 1, comprising 46 new homes, and outline planning permission granted for the remaining 83 within Phases 2&3 with matters of appearance and landscaping being reserved.
- 3.2. The approved development safeguards all existing 230 existing homes on the estate, it maximises the use of underutilised brownfield land and addresses the existing inefficiencies across the estate to improve access to and from the site as well as the surrounding greenfield land at Durants Park. The approved scheme secures 100 per cent affordable housing split across a policy compliant tenure mix and delivers 59no. 3-bedroom plus new homes.
- 3.3. This is a reserved matters application submitted pursuant to the outline permission and provides further detail on the appearance blocks within Phases 2 and 3 and the landscaping for these phases. The proposals follow on from the principles established through the outline scheme, the approved design code, parameter plans and various site-wide approved strategies, including highways and SuDS.
- 3.4. The proposals will deliver high quality new homes, in buildings that will contribute to the character of the area and which will sit within a repurposed, well landscaped setting that provides good quality amenity for both existing and new residents.

4. Site and Surroundings

- 4.1. The Exeter Road Estate is a mid-century residential estate comprising 230 dwellings located within both the Ponders End and Enfield Highway Wards; with the ward boundary being located along Exeter Road itself (east-west).
- 4.2. The estate currently comprises two pairs of fourteen storey residential towers (four in total), each containing 50 homes; Tiverton House, Ashcombe House, Honiton House and Newton House (from west to east). Each respective pair of towers benefits from a central two-level parking podium (two in total) which are at present underutilised. In addition, Crediton House, located centrally within the estate, and Ashburton House, the building furthest to the east, are each existing double stacked maisonette blocks of four storeys containing 16 and 14 homes respectively.
- 4.3. The existing buildings on the estate are mostly surrounded by a public realm and street environment that is quite inactive, with grassed areas often quite inaccessible, due to low set railings in parts of the site. The general public realm offers limited usability for the existing estate occupiers.
- 4.4. Exeter Road runs east-west through the estate, with smaller perimeter estate roads running off from this. South of the site are Exeter Road and Arbour Road, which link onto the east-west part of Exeter Road. Brookfields, a cul-de-sac, with no direct access through to Exeter Road, is located south of the site. North of Brookfields, within the boundary of the site is a vacant piece of overgrown brownfield land which previously accommodated the Wessex Hall Community Centre. However, this was demolished approximately 10 years ago.
- 4.5. Exeter Road, Arbour Road and Brookfields link the site with The Ride and are residential in nature comprising low-rise primarily terraced dwellings of a suburban character. Alexandra Road is located south-east of the site which has a pedestrian link through to Durants Park. Alexandra Road, closest to the site, comprises uses of an industrial nature within the Alma Industrial Estate which is designated a Locally Significant Industrial Site.
- 4.6. The site is bounded to the west, north and east by Durants Park which constitutes Metropolitan Open Land (MOL). Durants Park is also a non-designated heritage asset as it has Local Listing status due to its archaeological interest. However, neither the estate nor Durants Park are designated as Archaeological Priority Areas (APA). APAs close to the site are both the Durrants Road and Green Street APAs.
- 4.7. St James' Church, located approximately 640m northwest of the estate is a Grade II Listed Building and is located north of the Hertford Road Cemetery, which has Local Listing status, fronting Hertford Road. Green Street, located approximately 350m north of the application site, benefits from several listed buildings, with no.98 and 100 and the White Horse Public House being Grade II Listed.
- 4.8. The site is identified within the adopted North-East Enfield Area Action Plan as within the Ponders End Regeneration/Place Shaping Priority Area and lies within the wider North East Enfield Strategic Growth Area.

- 4.9. The centre of the site has a PTAL rating of 2 indicating that it has a relatively poor level of connectivity to public transport. The closest bus stops to the site are on Alexandra Road and Green Street, both of which are located approximately 580m from the estate. Bus stops on Nags Head Road are approximately 635m from the estate and bus stops on Hertford Road are approximately 765m from the estate. Brimsdown Train Station is the closest train station to the estate and is located approximately 930m north-east of the estate. Southbury London Overground Station is located approximately 1.3km south-west of the site.

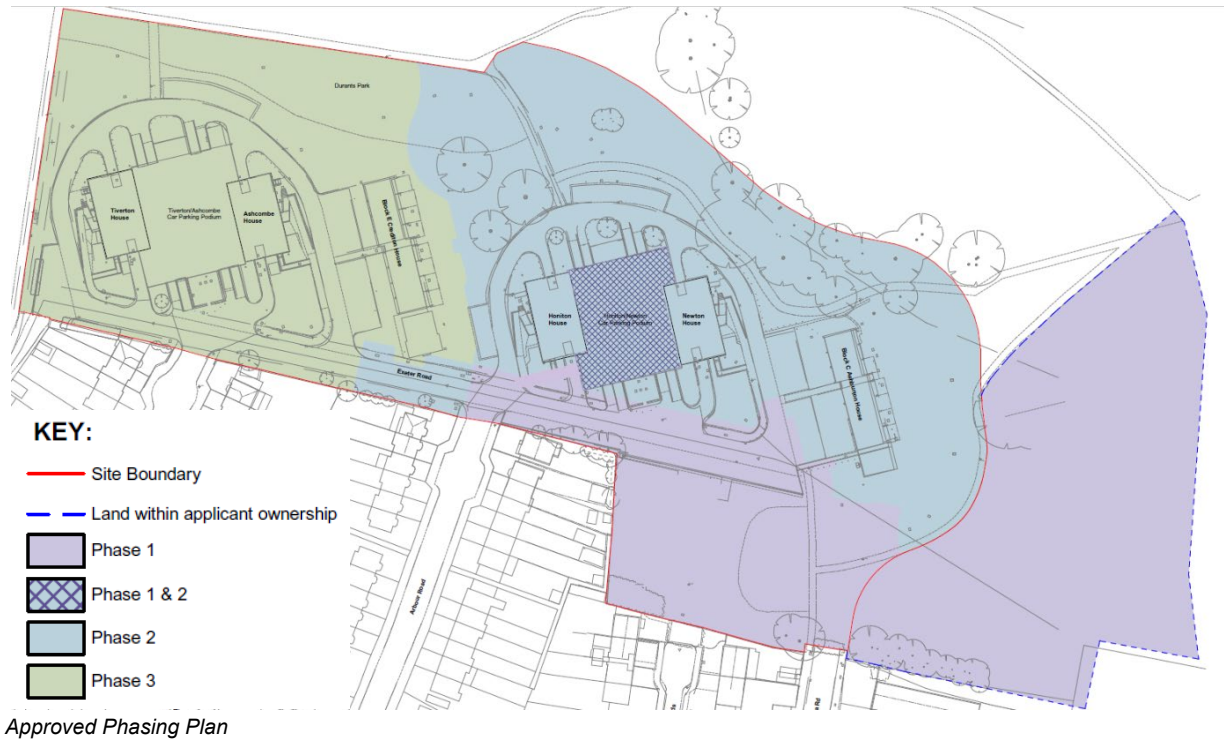
5. Proposal

- 5.1. Planning permission was granted on 22.12.22 for:

Detailed planning application for the construction of two buildings comprising 46 residential dwellings (Use Class C3) along with associated road layout, means of access and highways works; car and cycle parking; hard and soft landscaping; play; public, communal and private realm; ancillary plant and structures; and other works and improvements including works to the existing parking podium located between Honiton House and Newton House (Phase 1); and

Outline planning application (with matters relating to appearance and landscaping reserved) for the refurbishment and extension of Crediton House and Ashburton House and construction of two development blocks along Exeter Road comprising up to 83 residential dwellings (Use Class C3) with associated means of access; car and cycle parking; hard and soft landscaping; play; public, communal and private realm; highways works; and other associated works and improvements, including works to existing parking podiums and landscape enhancement works to Durants Park (Phases 2 & 3).

- 5.2. The hybrid approach to the planning application reflects the phased nature of the development proposed. See below an exert illustrating the approach to site-wide phasing:



5.3. The below image shows the approved Masterplan layout. Blocks A&B are new buildings within Phase 1 and have been granted full planning permission through the hybrid application. Blocks C&E are part-new build, part extension and refurbishment of the existing Crediton (Block E) and Ashburton Houses (Block C). Blocks D&F are new buildings south of the respective existing podium structures, located north of Exeter Road. The outline permission has already approved the layout and scale of these blocks/extensions and what is under consideration through this application is the appearance of these buildings, together with details of the internal floor layouts to demonstrate compliance with residential quality standards:



Masterplan Layout inclusive of Block Numbers

- 5.4. The hybrid application approved a Design Code which sets out design principles and associated guidance on both site-wide design principles, but also detailed requirements surrounding layout, access, landscaping, technical strategies and design principles on specific blocks within phases 2 and 3. The Design Code acts as the mechanism to bring about site-wide design cohesion, noting Phase 1 was granted full planning permission, and is a document against which this application must be assessed.
- 5.5. The hybrid application also approved a set of parameter plans, which set parameters required to be adhered to, including building footprint and heights, as well as spatially setting out the approach to site-wide open space and landscaping.
- 5.6. Below is a summary of the content of development within Phases 2&3 cumulatively:

Phase	Summary
Phase 2&3 (Cumulatively)	<p>Number of new homes – 83</p> <p>Unit mix proposed (Phase 2) (44 units):</p> <ul style="list-style-type: none"> • 1b/2p – 12 • 2b/3p - 6 • 2b/4p – 6 • 3b/5p – 14 • 4b/7p - 6 <p>Unit mix proposed (Phase 3) (39 units):</p> <ul style="list-style-type: none"> • 1b/2p – 8 • 2b/4p – 8

	<ul style="list-style-type: none"> • 3b/5p – 13 • 3p/6p – 1 • 4b/7p - 9 <p>Building height (Phase 2):</p> <ul style="list-style-type: none"> • Ashburton House – Part 8 part 6 part 9 storeys (29.85 at highest point maximum parameter) • Podium dwellings – 3 storeys (9.82m) <p>Building height (Phase 3):</p> <ul style="list-style-type: none"> • Crediton House – Part 7 part 6 part 9 storeys (29.85m at highest point maximum parameter) • Podium dwellings 3 storeys (9.82m below parapet) <p>External upgrades to Ashburton and Crediton House involving new windows and creation of formal garden spaces for some ground floor maisonettes.</p> <p>Vehicular parking – 53</p> <p>Cycle parking – 234 spaces inclusive of 9 larger spaces for disabled cycle parking</p> <p>Upgrades to both podium car parks including new rooftop green roofs. Upgrades to podium vehicular access arrangements from Exeter Road to both upper and lower level.</p> <p>Public Realm – 13,238sqm of new public realm</p> <p>New play space – 1907sqm</p> <p>Site wide landscaping enhancements including new footpaths, trees and soft/hard landscaping</p>
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5.7 Ashburton House (Block C) and Crediton House (Block E) include the retention of the existing buildings with lateral and horizontal extensions to the northern and southern edges. The approved Design Code sets out that both buildings must share the same architectural language, scale, mass and appearance. Both blocks use the same palette of materials including a light and a dark brick, metal cladding and ventilations panels, and balconies with railings.

- 5.8 The design of the new 'ends' take Exeter Road as the defining line between the more suburban character to the south and the taller housing to the north. The park façade of the northern extension echoes the elevational approach of the existing tower blocks and will feature the typical consistent balcony and window arrangements.
- 5.9 Two types of balconies are included in the proposal: solid brick parapet balconies at the lower levels to increase privacy and partially open balconies above using a combination of metal balusters and perforated panels to increase views and natural lighting. The proposed extensions are also characterised by large vertical windows with metal ventilation panels. All windows to existing dwellings will be replaced to match the proposed windows, whilst the window size will remain the same as existing.
- 5.10 The new maisonette rooftop extensions on the existing buildings will be metal clad in a colour complementary to the brick and metal details in the design. The maisonettes are supported on brick columns which will follow the party wall lines of the existing building.
- 5.11 The three storey terraced houses proposed for Block D and Block F along Exeter Road will mirror the suburban housing beyond the southern boundary of the Site. The houses will use the same light brick as on Ashburton House and Crediton House and will feature metal fenestration and ventilation panels. The windows are stacked, and the ventilation panels create a cohesive and geometric elevation. The front doors facing Exeter Road will be in a complementary colour and will be confirmed at a later stage.
- 5.12 The existing homes in Ashburton House and Crediton House will be improved by replacing the windows, doors and cladding to improve insulation which will benefit the energy efficiency of the existing flats. In addition, private front gardens are proposed for the existing lower-level maisonettes. The existing main entrances in both blocks will also be upgraded with new fob-accessed main entrance doors and brick walls protruding the existing structure.
- 5.13 With respect to landscaping, the proposals comprise extensive new planting along the northern boundary including 11 large canopy trees to create long term improvements to the park boundary condition. New planting and soft landscaping is also proposed between the existing and proposed blocks. Further, the landscape strategy includes the provision 57 trees in Phase 1 and 99 trees in Phases 2 and 3 totalling 156 trees across all Phases.
- 5.14 The proposals include a reduction in the number of large formal paths through the site to increase privacy to ground floor units and a network of additional secondary and tertiary paths will be introduced to connect the play areas as a play trail throughout the site, and to integrate nature play around the parkland edge. New streetlighting will be provided across the site and the parkland edge to increase safety.
- 5.15 The Proposed Development will provide 1,907sqm of play areas across the Phase 2 and 3 Site. The proposed play areas have been laid out as a continuous play trail along the northern edge of Durants Park. Play targeted for ages 0-11 will be located in the eastern and western edges of the play trail. Additional play equipment for children up to 15 years of age will be positioned throughout the landscape corridor, which will also include some skate park elements following feedback received during public consultation with residents on the type of play spaces to be included in the detailed design for Phases 2 and 3.

- 5.16 The initial proposals for the existing podium roofs between Tiverton House and Ashcombe House and Honiton House and Newton House to provide communal amenity and play space, as set out in the Design Code, have been omitted following feedback from residents during consultation and for reasons concerning accessibility. The amenity uses previously proposed on the podiums will be re-provided at grade to be more accessible to residents along with additional picnic benches added to the park edge areas, to create resting opportunities as well as overlooking for the play areas for parents to use. These changes are reflected in a revised Design Code and Parameter Plan (3665A-LB-OO-DR-A-206-Site Wide Open Space Parameter Plan), which has been the subject of a separate Non-Material Amendment (NMA) application.

6. Relevant Planning Decisions

- 6.1. 21/04792/NMA - Non-material minor amendment application (Section 96a) to planning permission 21/02076/OUT to amend conditions F05 and O04 (Compliance with Plans), O06 (Compliance with Design Code), O07 (Target Dwelling Mix) and O43 (Final Sustainable Drainage Strategy), to remove conditions O10 (Delivery of Podium Level Amenity Space), F38 and O33 (Podium Use) in order to relocate roof-level communal amenity space on existing podium structures, omit relocation of ground floor unit entrances affecting existing ground floor units of Ashburton and Crediton Houses (Blocks C&E), omit second floor balconies affecting existing units of Crediton and Ashburton Houses (Blocks C&E), amend target unit mix owing to tenure changes / unit sizes to 2no. units, construct ground-level plant structures and update the drawing schedule which included incorrect drawing references – Granted
- 6.2. 21/02076/OUT - Hybrid planning application (part detailed /part outline) for the comprehensive redevelopment of the Exeter Road Estate for up to 129 additional residential dwellings (Use Class C3) and associated works comprising:

Detailed planning application for the construction of two buildings comprising 46 residential dwellings (Use Class C3) along with associated road layout, means of access and highways works; car and cycle parking; hard and soft landscaping; play; public, communal and private realm; ancillary plant and structures; and other works and improvements including works to the existing parking podium located between Honiton House and Newton House (Phase 1) and

Outline planning application (with matters relating to appearance and landscaping reserved) for the refurbishment and extension of Crediton House and Ashburton House and construction of two development blocks along Exeter Road comprising up to 83 residential dwellings (Use Class C3) with associated means of access; car and cycle parking; hard and soft landscaping; play; public, communal and private realm; highways works; and other associated works and improvements, including works to existing parking podiums and landscape enhancement works to Durants Park (Phases 2 & 3) – Granted 22.12.2021

- 6.3. See below additional specific information approved through application 21/02076/OUT across both the Detailed (Phase 1) and Outline (Phases 2&3) applications:

Phase	Application	Summary
Phase 1	Detailed	<p>Number of new homes – 46</p> <p>Unit mix proposed:</p> <ul style="list-style-type: none"> • 1b/2p – 23 • 2b/4p – 7 • 3b/5p – 16 <p>Building heights (at highest point):</p> <ul style="list-style-type: none"> • Block A – Part 3 part 4 storeys (13.2m) • Block B – Part 5 part 7 storeys (22.9m) <p>Vehicular parking – 179</p> <p>Cycle parking – 87 spaces inclusive of 4 larger spaces for disabled cycle parking</p> <p>Upgrades to the upper level of the eastern podium car park (between Honiton and Newton House) inclusive of new vehicular access</p> <p>Public realm – 3,514sqm of new public realm</p> <p>New play space – 572sqm</p> <p>Landscape enhancements to Durants Park including new footpaths, trees and soft landscaping inclusive of the delivery of the new wetlands scheme.</p>
Phase 2 and 3	Outline	<p>Number of new homes – 83</p> <p>Unit mix proposed (Phase 2):</p> <ul style="list-style-type: none"> • 1b/2p – 12 • 2b/3p – 6 • 2b/4p – 6 • 3b/5p – 14 • 4b/7p - 6 <p>Unit mix proposed (Phase 3):</p> <ul style="list-style-type: none"> • 1b/2p – 8 • 2b/4p – 8 • 3b/5p – 13 • 4b/7p - 10 <p>Building height (Phase 2):</p> <ul style="list-style-type: none"> • Ashburton House – Part 8 part 6 part 9 storeys (29.85 at highest point maximum parameter) • Podium dwellings – 3 storeys (9.82m)

		<p>Building height (Phase 3):</p> <ul style="list-style-type: none"> • Crediton House – Part 7 part 6 part 9 storeys (29.85m at highest point maximum parameter) • Podium dwellings 3 storeys (9.82m below parapet) <p>Vehicular parking – 53</p> <p>Cycle parking – 234 spaces inclusive of 9 larger spaces for disabled cycle parking</p> <p>Upgrades to both podium car parks including new green roofs. Upgrades to podium access arrangements from Exeter Road to both upper and lower level.</p> <p>Public Realm – 13,238sqm of new public realm</p> <p>New play space – 1300sqm (Phase 2), 584sqm (Phase 3)</p> <p>Site wide landscaping enhancements including new footpaths, trees and soft landscaping</p>
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- 6.4. 20/03211/RE4 - Durants Park flood alleviation scheme involving diversion of water flow from existing surface water sewer to new wetland area in south-eastern corner of the park; excavation works to create wetland basins, retention of resultant spoil on site to create raised wildflower meadows to north of the wetlands together with provision of footpath and amenity area – Granted 24.02.2021

7. Consultations

7.1. Pre-Application Consultation

- 7.2. The below table is an excerpt from the Statement of Community Involvement submitted in support of this application (HTA, dated December 2021). The table sets out the timeline of the community consultation exercises in advance of the submission of this application.

Project Timeline	
Month	Activities
October 2021	Newsletter, questionnaire, and feedback form sent to residents on the estate and the surrounding area
	Online Public Exhibition (Ashburton and Crediton Houses) (20.10.21)
	Online Public Exhibition (Honiton, Newton, Ashcombe, and Tiverton Houses) (21.10.21)
November 2021	Newsletter and feedback form sent to residents on the estate and the surrounding area for 04.11.21 event
	Public Notice Board Exhibition (04.11.21)
	Newsletter and feedback form sent to residents on the estate and the surrounding area for 02.12.21 event.
December 2021	Public Notice Board Exhibition (02.12.21)
	Submission of planning application

- 7.3. Regards the 2no. online public exhibition events, cumulatively 2no. residents attended. 19no. residents attended the 2no. in person public consultation event and 13no. written letters of feedback were received.
- 7.4. The applicant has set out that in general, there was a significant level of support for the proposals as a whole, and for the information presented on the appearance and landscape of the Phases 2 and 3 blocks. A number of comments were made reiterating the need for renewal of the wider area and the estate, the principle for which was established through the hybrid planning permission along with the parameters and design code principles for Phases 2 and 3.
- 7.5. The following commentary provides a high-level summary of the feedback from public consultation.
- *Residents were strongly supportive of the landscape strategy, including the new play space (more so once the spaces were moved further away from homes in Crediton House), greening, potential for greater biodiversity, and the principle of having more useable open space for residents. Amongst this, a few residents reiterated the need for a robust management strategy for these spaces and facilities. The use of the podia as a green roof instead of amenity space was supported by residents within Honiton, Newton, Ashcombe and Tiverton Houses. It was mentioned repeatedly that they wanted to live amongst a more green and biodiverse environment without the potential for impacts on residential amenity if the spaces were accessible (i.e. from noise or lights, despite assurances that the spaces could be designed in such a way, and managed by the Council, to minimise such impacts).*
 - *There was support for the appearance of the buildings, with the general consensus being that they responded well to the existing blocks in design terms, and were subservient to them. Responses also included questions and*

concerns about car parking, construction impacts, anti-social behaviour, impacts on views, and impacts on residential amenity (including overlooking, loss of light, and noise).

Enfield Place and Design Quality Panel (DRP):

- 7.6. The proposed development was brought before the Enfield Place and Design Quality Panel (hereby referred to as DRP) twice at different points within pre-application discussions in advance of the submission of the hybrid application. The majority of points raised at both sittings relating to high-level design principles, which were relevant to the hybrid application. Nonetheless, on the basis that matters of appearance and landscaping were reserved; and more detail has come forward in support of this application for reserved matters, officers felt it useful to reiterate the small number of relevant points raised, and provide an update, as the detailed design development has come forward.

26.03.20 DRP sitting:

- 7.7. *“The boundary with Durants Park on to which the site fronts is undefined and underutilised. Proposals should be developed on the park-facing aspects of the site on its northern boundary with housing and public realm that activate the ground floor and connect the new residential district with the park”.*
- 7.8. *Officer comment:* The officer report supporting the hybrid application set out that earlier, pre-application iterations of the site-wide development involved new housing north of the existing podium structures however this has not come forward due to viability reasons. The officer report also set out that the Site Wide Illustrative Landscaping Plan, set-out high-level landscaping detail in the north part of the site; contributing to activating the north of the site. Landscaping was a matter reserved and the detailed approach to landscaping (inclusive of planting schedules and species), the design and layout of play, forms part of this reserved matters application and is assessed in the body of this report. Officers are satisfied that the applicant has satisfactorily addressed this comment, particularly through intensifying the provision of formal play to the northern part of the site.

14.01.21 DRP sitting:

- 7.9. *“A degree of simplification and consistency across the proposals could assist in improving the quality of the built project”.*
- 7.10. Officers are satisfied that the scheme proposed under this application has strong design cohesion with Phase 1 of the development; which was granted full planning permission through the hybrid permission. This consistency has been achieved by agreeing design principles in the approved design code and other relevant plans approved through the hybrid scheme. Relevant conditions are attached to the hybrid scheme, and will be attached to this reserved matters application, to best safeguard the design, through to delivery.
- 7.11. *“The landscape principles are also supported (improved Exeter Road, new square and Green links) but these aspirations are not yet being realised in the detailed proposals”.*

- 7.12. Sections 2 (Layout) and 4 (Landscaping) of the approved Design Code, set out design principles to be adhered to in the detailed design of Phases 2&3 regards character areas throughout the site, planting and street design. To reiterate, an Illustrative Landscaping Masterplan was also submitted in support of the hybrid application. Noting landscaping was a reserved matter, it would be expected that the majority of relevant detail would come forward within this reserved matters application; which it has. Section 7 of the submitted Design and Access Statement (DAS) in support of this reserved matters application sets out the detailed landscaping approach across Phases 2&3. The DAS sets out the detailed design approach to each “character area” of the site, as identified within section 4.01 of the approved Design Code. Within the DAS, the applicant highlights through precedent images, 3D imagery as well as sections, the landscaping approach to each character area inclusive of SuDS features where relevant.
- 7.13. This application is also supported by detailed plans covering the entirety of Phases 2&3. These set-out in detail, the planting species schedules, details around hard landscaping materials in all public areas of the site including areas of play, as well as details of the 2no. podium roof level green roofs.
- 7.14. *“Further clarity is needed on boundary treatments, bike storage and providing greater emphasis on the entrances to residential blocks at street level would help deliver greater clarity to the layout”.*
- 7.15. In support of this reserved matters application, the applicant has submitted Landscaping Typical Details plans which specifically relate to boundary treatments on all buildings typologies across Phases 2&3. Section 4.11 of the approved Design Code also sets out the design principles to be adhered to regards boundary treatments/methods of enclosure.
- 7.16. Public consultation
- 7.17. Public consultation as a result of this planning application involved notification letters being sent to 693 neighbouring properties (both within the estate and homes adjoining) on 14th January 2022, a press advert in the Enfield Independent was published 19th January 2022 and 5no. site notices were erected 20th January 2022.
- 7.18. As a result of public consultation, two objections were received, and a summary of reasons for comment is below:
- General dislike of proposal;
 - Increase of pollution;
 - Removal of greenery to area, of which is already lacking;
 - Adverse impacts to sunlight conditions by reason of construction of buildings in the east-part of estate;
 - Increase in noise;
 - Design, related to massing of the proposed southern elevation of the new southern addition to Crediton House;

- Increase in different modes of traffic on the east-west Exeter Road estate road, and implications thereby on highways safety; and
- Adverse impact of introduction of car-parking on the south-side of Exeter Road inclusive of concern regards damage to neighbouring private fences south of.

7.19. Officer Response

7.20. *“Increase of pollution”*

7.21. The principle of this form, quantum and scale of development has been approved through the hybrid application. This was supported by an Air Quality Assessment and conditions of the planning permission (F37 and O45) require the applicant to demonstrate that each phase meets the requirements of relevant policy.

7.22. *“Removal of greenery to area, of which is already lacking”*

7.23. The principle of this form, quantum and scale of development has been approved through the hybrid application This was accompanied by a landscape strategy document setting the approach to the repurposing of open space and public realm in the context of the new development, together with the approach to landscaping. This application sets out the detailed design proposals around Open Space, Landscape, Play, Biodiversity and Trees across phases 2&3 and are discussed further within the body of this report.

7.24. *“Adverse impacts to sunlight conditions by reason of construction of buildings in the east-part of estate”*

7.25. The principle of this form, quantum and scale of development has been approved through the hybrid application. This was accompanied by a Daylight & Sunlight (Neighbouring) Study for both the Outline and Full elements of the development; site-wide across all phases. Testing undertaken included the maximum height and massing of all development within Phases 2&3 Thus the impact of all development to which this reserved matters application relates on all relevant affected neighbouring residential units, both within the existing estate and south of it , has already been assessed and considered acceptable and hence planning permission was granted. The scope of daylight/sunlight testing in the context of this application for reserved matters, relates solely to the testing of the performance of the new dwellings, for which detailed design is submitted, this being Blocks, C, D, E & F.

7.26. *“Increase in noise”*

7.27. The planning permission granted secures through conditions, the requirement for the applicant to submit Acoustic Reports related to all combined mechanical plant for all phases (conditions F7 and O30), Construction Management Plans (conditions F25 and O26) and a Construction Logistics Plans (conditions F26 and O27).

7.28. *Design, related to massing of the proposed southern elevation of the new southern addition to Crediton House”*

- 7.29. The height, massing and footprint of the proposed south extension to Crediton House has been approved through the hybrid application. This application is considering only the appearance of this building. The design rationale and officer assessment of design is set out within the body of this report.
- 7.30. *“Increase in different modes of traffic on the east-west Exeter Road estate road, and implications thereby on highways safety”*
- 7.31. The principle of this form, quantum and scale of development has been approved through the hybrid application and the traffic impact of this quantum found to be acceptable
- 7.32. *“Adverse impact of introduction of car-parking on the south-side of Exeter Road inclusive of concern regards damage to neighbouring private fences south of”*
- 7.33. The layout of the development and the quantum and location of car parking has been approved through the hybrid application and found to be acceptable.
- 7.34. Statutory and Non-Statutory Consultees
- 7.35. Environmental Health: State no objection as there is unlikely to be a negative environmental impact; subject to appropriate conditions.
- 7.36. *Officer comment*: On further engagement with the Council Environmental Protection Officer, officers are satisfied that the extant condition schedule secured through the hybrid permission, captures all conditions the Officer requests.
- 7.37. Transportation: Stated no additional comment noting comments made in regards to the hybrid application and the secured extant condition schedule(s)
- 7.38. SuDS Highways: Stated no additional comment noting comments made in regards to the hybrid application and the secured extant condition schedule(s)
- 7.39. Planning Policy: It is not considered that there are any planning policy concerns in relation to the proposed scheme. The planning policy team is fully supportive of the reserved matters application.
- 7.40. Thames Water: Stated no additional comment noting comments made in regards to hybrid application and the t secured extant condition schedule(s)
- 7.41. Natural England: State no objection on basis of mitigation secured through hybrid permission.
- 7.42. *Officer comment*: Natural England stated that all (relevant) applications, in line with interim Natural England Guidance, should be accompanied by an *appropriate assessment*. A full Habitats Regulations Assessment (HRA), was submitted with the approved hybrid application within which, it set-out forms of mitigation that are secured through the hybrid permission. At the request of Natural England, during the course of this reserved matters application, the applicant submitted an update

note setting out, that all mitigation agreed, is secured through the extant hybrid permission. Natural England state no objection to this application

- 7.43. MPS Designing Out Crime: Stated no additional comment noting comments made in regards to the hybrid application and the secured extant condition schedule(s)

8. Relevant Policy

8.1. National Planning Policy Framework 2021

- 8.2. The National Planning Policy Framework sets out at Para 11 a presumption in favour of sustainable development. For decision taking this means:

“(c) approving development proposals that accord with an up-to date development plan without delay; or

(d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date (7), granting permission unless:

(i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed (6); or

any adverse impacts of so doing would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole.

- 8.3. Footnote (8) referenced here advises “This includes, for applications involving the provision of housing, situations where the local planning authority cannot demonstrate a 5 year supply of deliverable housing sites (with the appropriate buffer, as set out in paragraph 73); or where the Housing Delivery Test indicates that the delivery of housing was substantially below (less than 75% of) the housing requirement over the previous 3 years.”
- 8.4. The Council’s recent housing delivery has been below our increasing housing targets. This has translated into the Council being required to prepare a Housing Action Plan in 2019 and more recently being placed in the “presumption in favour of sustainable development category” by the Government through its Housing Delivery Test.
- 8.5. The Housing Delivery Test (HDT) is an annual measurement of housing delivery introduced by the government through the National Planning Policy Framework (NPPF). It measures the performance of local authorities by comparing the completion of net additional homes in the previous three years to the housing targets adopted by local authorities for that period.
- 8.6. Local authorities that fail to meet 95% of their housing targets need to prepare a Housing Action Plan to assess the causes of under delivery and identify actions to increase delivery in future years. Local authorities failing to meet 85% of their housing targets are required to add 20% to their five-year supply of deliverable

housing sites targets by moving forward that 20% from later stages of the Local Plan period. Local authorities failing to meet 75% of their housing targets in the preceding 3 years are placed in a category of “presumption in favour of sustainable development.

- 8.7. In 2019, Enfield met 77% of the 2,394 homes target for the preceding three-year period (2016/17, 2017/18, 2018/19), delivering 1,839 homes. In 2020 Enfield delivered 56% of the 2,328 homes target. In 2021, Enfield delivered 1777 of the 2650 homes required, a rate of 67%. The consequence of this is that Enfield is within the “presumption in favour of sustainable development” category.
- 8.8. This is referred to as the “tilted balance” and the National Planning Policy Framework (NPPF) states that for decision-taking this means granting permission unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole – which also includes the Development Plan. Under the NPPF paragraph 11(d) the most important development plan policies for the application are deemed to be ‘out of date’. However, the fact that a policy is considered out of date does not mean it can be disregarded, but it means that less weight can be applied to it, and applications for new homes should be considered with more weight (tilted) by planning committee. The level of weight given is a matter of planning judgement and the statutory test continues to apply, that the decision should be, as section 38(6) of the Planning and Compulsory Purchase Act 2004 requires, in accordance with the development plan unless material considerations indicate otherwise.
- 8.9. The London Plan 2021

GG1 – Building Strong and Inclusive Communities
GG2 – Making the Best Use of Land
GG3 – Creating a Healthy City
GG4 – Delivering the Homes Londoners Need
D3 – Optimising Site Capacity through the Design-Led Approach
D4 – Delivering Good Design
D5 – Inclusive Design
D6 – Housing Quality and Standards
D7 – Accessible Housing
D8 – Public Realm
D11 – Safety, Security and Resilience to Emergency
D12 – Fire Safety
D14 – Noise
S4 – Play and Informal Recreation
HC1 – Heritage Conservation and Growth
G1 – Green Infrastructure
G3 – Metropolitan Open Land
G4 – Open Space
G5 – Urban Greening
G6 – Biodiversity and Access to Nature
G7 – Trees and Woodland
SI2 – Minimising Greenhouse Gas Emissions
SI4 – Managing Heat Risk
SI7 – Reducing Waste and Supporting the Circular Economy
T1 – Strategic Approach to Transport
T2 – Healthy Streets

T5 – Cycling
T6 – Car Parking
T6.1 – Residential Parking

8.10. Mayoral Supplementary Guidance

8.11. Play and Informal Recreation (September 2012)
Provides guidance to Local Authorities and Developers to estimate the potential child yield from a development, and the resulting requirements for play space provision.

8.12. Sustainable Design and Construction (April 2014)
The Sustainable Design and Construction (SPG) seeks to design and construct new development in ways that contribute to sustainable development.

8.13. Accessible London: Achieving an Inclusive Environment (October 2014)
The strategy sets out to provide detailed advice and guidance on the policies in the London Plan in relation to achieving an inclusive environment.

8.14. Housing (March 2016)
The housing SPG provides revised guidance on how to implement the housing policies in the London Plan.

8.15. Better Homes for Local People, The Mayor's Good Practice Guide to Estate Regeneration
Sets out the Mayor's policies for Estate Regeneration.

8.16. Local Plan – Core Strategy

Core Policy 4 – Housing quality
Core Policy 9 – Supporting Community Cohesion
Core Policy 20 – Sustainable Energy use and energy infrastructure
Core Policy 25 – Pedestrians and cyclists
Core Policy 30 – Maintaining and improving the quality of the built and open environment
Core Policy 31 – Built and landscape heritage
Core Policy 40 – North East Enfield

Local Plan – Development Management Document

DMD6 – Residential Character
DMD8 – General Standards for New Residential Development
DMD9 – Amenity Space
DMD10 – Distancing
DMD 37 – Achieving High Quality and Design-Led Development
DMD 38 – Design Process
DMD44 – Conserving and Enhancing Heritage Assets
DMD45 – Parking Standards and Layout
DMD47 – New Road, Access and Servicing
DMD49 – Sustainable Design and Construction Statements
DMD51 – Energy Efficiency Standards
DMD53 – Flow and Zero Carbon Technology
DMD55 – Use of Roofspace/ Vertical Surfaces
DMD56 – Heating and Cooling

DMD69 – Light Pollution
DMD 73 – Child Play Space
DMD 78 – Nature conservation
DMD79 – Ecological Enhancements
DMD80 – Trees on development sites
DMD81 – Landscaping

Other Material Considerations

National Planning Practice Guidance
S106 SPD (2016)
Enfield Characterisation Study (2011)
Manual for Streets 1 & 2, Inclusive Mobility 2005 (DfT)
Enfield Blue and Green Strategy (2021 -2031)
Natural England Interim Guidance (2019)

8.17. Enfield Local Plan (Reg 18) 2021

8.18. Enfield Local Plan - Reg 18 Preferred Approach was approved for consultation on 9th June 2021. The Reg 18 document sets out the Council's preferred policy approach together with draft development proposals for several sites. It is Enfield's Emerging Local Plan.

8.19. The Local Plan remains the statutory development plan for Enfield until such stage as the replacement plan is adopted and as such applications should continue to be determined in accordance with the Local Plan, while noting that account needs to be taken of emerging policies and draft site proposals.

8.20. Key local emerging policies from the plan are listed below:

Policy DM SE4 – Reducing energy demand
Policy DM SE5 – Greenhouse gas emissions and low carbon energy supply
Policy DM SE7 – Climate change adaptation and managing heat risk
Strategic Policy SPBG3 – Biodiversity net gain, rewilding and offsetting
Strategic Policy SP BG4 – Green belt and metropolitan open land
Policy DM BG8 – Urban greening and biophilic principles
Policy DM DE1 – Delivering a well-designed, high-quality and resilient environment
Policy DM DE2 – Design process and design review panel
Policy DM DE7 – Creating liveable, inclusive and quality public realm
Policy DM DE11 – Landscape design
Policy DM DE13 – Housing standards and design

9. Analysis

9.1. Outline planning permission has been granted for the development of this site to provide 129no. units and associated works. The outline permission has established a number of key principles for the site with regards to housing quantum, unit mix and tenure and the scale and footprint of buildings and general masterplan layout. This is a reserved matters application pursuant to the outline permission and relates only to the appearance of Blocks C, D, E & F, the existing podium structures and the detailing on the landscaping and public realm proposals around these blocks, set

within the context of the agreed principles. The main issues to consider are as follows

- Design
- Residential Design Standards
- Impact to Residential Amenity
- Open Space, Landscape, Play, Biodiversity and Trees
- Sustainability and Climate Change
- Flood Risk and Drainage
- Contamination
- Impact on Heritage Assets

Design

- 9.2. London Plan Policy D3 outlines all development must make the best use of land by following a design-led approach that optimises the capacity of sites, including site allocations. Policy D4 encourages the use of master plans and design codes to ensure the delivery of high-quality design and place-making. Design scrutiny, through the use of Design Review Panels is encouraged.
- 9.3. London Plan Policy D9 requires the architectural quality and materials of tall buildings to be of an exemplary standard to ensure that the appearance and architectural integrity of the building is maintained through its lifespan
- 9.4. Core Policy 30 requires all developments and interventions in the public realm to be high-quality and design-led. The DMD contains a number of specific policies seeking to influence design quality in terms of density, amenity space provision, distancing standards, daylight and sunlight and appropriate access to parking and refuse facilities.

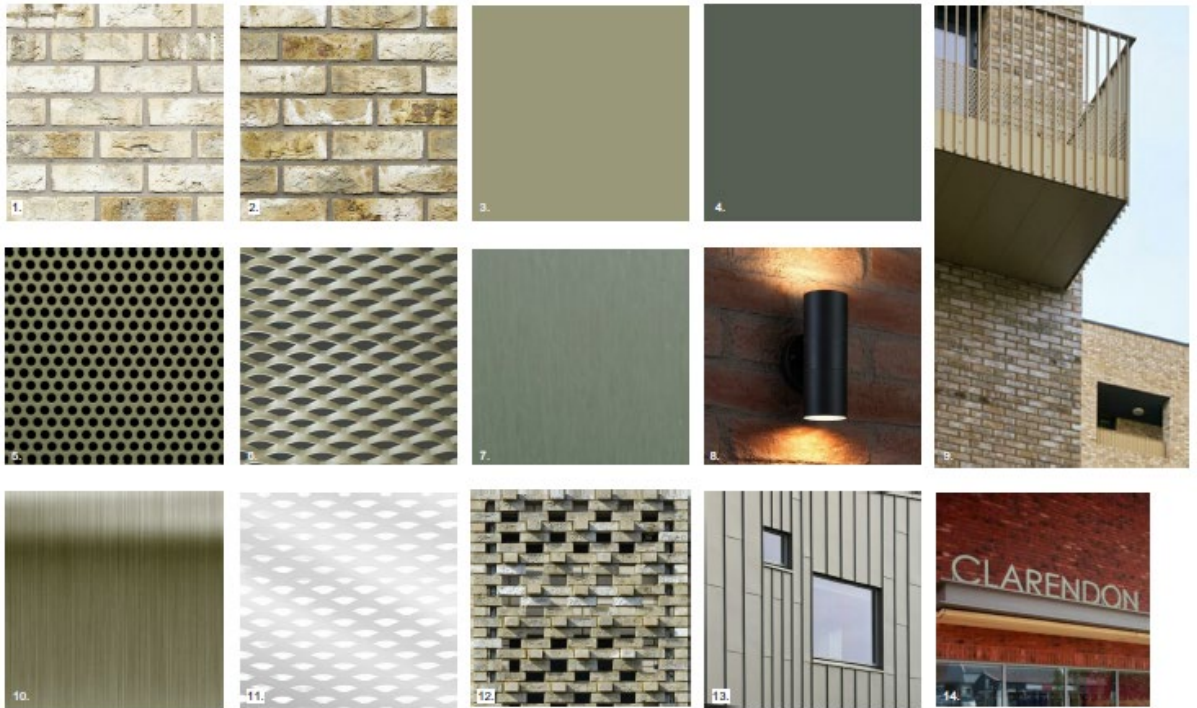
Height and Massing

- 9.5. The maximum acceptable height parameters throughout Phases 2&3 were established through the outline permission. All new-build elements covered by this application fall within these maximum height parameters.

Architecture and Materials

- 9.6. The outline application secured a Design Code, to be adhered to when developing the detailed designs coming forward within this reserved matters application. Section 2.13 of the Code sets out design principles and guidance related to materials. Section 2.11 sets out principles around active frontages. Dedicated sections within the Code relate to development affecting Crediton and Ashburton Houses (Blocks C&E) as well as the new-build “podium dwellings” (Blocks D&F). These sections set-out principles ranging from architectural language, design cohesion across phases and detailed design matters such as the elevation composition promoting different elements across their “base”, “mid-sections” and “tops”.
- 9.7. Section 6 (Appearance) of the Design and Access Statement (DAS) supporting this application compliments the approved Design Code and sets out in detail, the architectural approach to the detailed design of Phases 2&3 inclusive of façade strategies, material treatments and architectural detailing.

9.8. Along with detailed elevation plans, this application is supported by a Phase 2&3 Materials Palette Plan (dwg. no. 3665D-LB-ZZ-DO-A-419000 Rev. P1 (see below exert) which would form an approved drawing. This provides primarily precedent photographs of materials proposed to be utilised and includes a detailed materials schedule, the applicant has submitted a series of illustrative views in support of this application.



Materials Palette Plan exert



Illustrative view looking west with Block C (Ashburton) and Block B (with Phase 1)



Illustrative view looking east on Exeter Road with Blocks F& E (foreground), and D&C (background)

- 9.9. The scheme responds positively to its context through a primarily brick elevational approach, fine detailing and simple metalwork. The buildings sit comfortably alongside the existing estate and Phase 1 of the development; as granted Full Planning Permission through application 21/02076/OUT. The scheme is in compliance with the approved Design Code. However, conditions are recommended requiring further details for example of brick reveal depths, together with sample materials and brick panels being made available on-site and agreed prior to any super-structure works commencing to ensure the same detail and quality is secured across Phases 2 and 3, as per Phase 1.

Podium Elevational Design and Access

- 9.10. As existing, the podium structures have vehicular access from the north and south elevations (4no. accesses in total as existing). Vehicular access to the upper-deck of the eastern podium was approved through the hybrid application with high-level detail for the remaining three decks submitted with this application; reflecting that as approved under the hybrid scheme.
- 9.11. The proposed approach to façade remediation following the relocation of the existing vehicular entrances will result in more open north-south facades on both structures, in comparison to the existing situation with much of the existing brick façade being replaced with metal railings and perforated panelling. The approach to materials, particularly the use of metal panelling (RAL colour shown on plans), matches closely architectural detailing on Blocks C&E. The proposed façade approach promotes a sense of cohesion across the entire estate and is supported by officers. Nonetheless, officers recommend a condition requiring full north-south elevation plans to ensure the design vision and rationale is secured..

Inclusive Design

- 9.12. Policy D5 (Inclusive Design) of the London Plan outlines that development proposals should achieve the highest standards of accessible and inclusive design outlining a set criterion for adherence to.

- 9.13. London Plan Policy D7 (Accessible Housing) requires 90% of units to meet M4 (2) (accessible and adaptable) and 10% to meet M4 (3) wheelchair standards.
- 9.14. This application is supported by an Access and Inclusivity Statement. The statement confirms compliance with the relevant policy framework by reason of the proposed housing and tenure mix, how the landscape design approach is influenced by promoting people focused spaces and how the development overall is designed in a way to maximise the principles of barrier-free development.
- 9.15. However, officers did identify potential access constraints within the existing buildings from the existing residential lift cores along an internal corridor leading to the podium car parks where there exist pinch-points (800mm) within the existing corridor. This limits usability of the corridor and thus access to the podium car parks. The preference would be for a change to be made to the building to accommodate a more generous corridor (1200mm wide). However, it is appreciated that this is an existing situation and the applicant has advised through undertaking some investigative works, that it is not possible for financial viability reasons and given the complexity of the existing building structures. Given this, no accessible parking bays are to be accommodated within the podium decks and instead these will be provided on-street.
- 9.16. All new dwellings and external access footpaths are designed to meet Building Regulations M4(2) requirements with level access provided either by street-level or by an 8 or 13 person lift. There are 8no. units classified M4(3). These are all located within the southern extension to Block C (Ashburton); with 1no. per floor from ground floor to level 7.
- 9.17. The application is accompanied by an appropriate Fire Statement which is assessed within the relevant section of this report.

Wind Assessment

- 9.18. The hybrid application approved a Pedestrian Level Wind Desk-Based Assessment which tested wind conditions based on the proposed site-wide design parameters, across all phases. The results demonstrated, east of Ashburton and Crediton Houses (Blocks C&E), that within summer months the space around the base of these buildings would only be suitable for “standing” purposes. It should be noted that the applicant proposes formalising these spaces at these locations as gardens for existing ground floor maisonettes; with detail coming forward as part of this reserved matters application. The applicant has confirmed that these spaces were not tested with any means of enclosure in place, which would reduce and mitigate any wind impacts. Officers are satisfied that this form of mitigation is appropriate and will improve the microclimate around the base of these buildings.

Fire Safety

- 9.19. London Plan Policy D 12 outlines that in the interests of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of fire safety and ensure that they follow a set criterion. Part B of the policy outlines that all major development proposals should be submitted with a Fire Statement which is an independent fire strategy, produced by a third party, suitably qualified assessor.

- 9.20. This application is submitted with a Fire Safety Statement. Section 3 of the statement sets out in detail, matters around means of escape inclusive of those with reduced mobility. Section 4 of the report, outlines means of warning and section 5 outlines details surrounding fire spread control. Access facilities for the fire service and fire safety management and maintenance details are also outlined in detail.
- 9.21. The London Fire Brigade were consulted on this application and have stated no comment.
- 9.22. It is recommended a condition be attached to the planning permission requiring compliance with the submitted Fire Strategy, in accordance with London Plan Policy D12.

Secure by Design

- 9.23. The scheme has utilised both active and passive measures to “design out crime” across the masterplan. Principles of best practise of secure by design are evident within the proposed scheme, by way of the better activation of Exeter Road and activity at a ground floor level across the development. Landscaping design is to include a level and style of planting to promote good visibility. The design of communal spaces such as cycle and refuse stores have been designed appropriately to promote good visibility when entering/exiting. Further, the applicant outlines that lighting has been considered with secure by design principles in mind. The use of CCTV is proposed in key locations including car parks and fobbed entrances to cores is proposed.
- 9.24. The applicant has engaged with the Metropolitan Police Designing Out Crime Team and they were consulted and commented on this planning application. Officers have outlined that they fully support the scheme. The Outline Planning Permission condition O38 requires prior to the first occupation of each building within Phases 2 & 3, the applicant must submit details to the LPA demonstrating “Secured by Design” certification has been obtained for each building or part of each building across each phase.

Cycle Parking/Refuse Storage Updates

Cycle Parking

- 9.25. The approved outline application secured the site-wide cycle parking quantum and spatial distribution. Floorplans submitted for all blocks within Phases 2&3, to be approved under this application for reserved matters, follow the same strategy and achieve the agreed quantum regards cycle parking.
- 9.26. *Refuse Facilities*
- 9.27. Similarly to the above, floorplans submitted in pursuance of this reserved matters application function effectively with the site-wide refuse strategy agreed with the outline application.
- 9.28. The Council Commercial Waste Team were consulted and stated no comment.

Residential Design Standards

- 9.29. London Plan Policy D6 sets out criteria for achieving good quality residential development. Minimum space standards are identified in Table 3.1 of the London Plan and detailed design guidance and principles are set out in the Mayor's Housing SPG (2016). Enfield's Development Management Document Policy 8 (General Standards for New Residential Development) seeks to ensure that residential developments are of the highest quality and relate well to their setting.
- 9.30. The DMD contains several policies which also aim to ensure the delivery of new housing of an adequate quality, namely Policy DMD8 (General Standards for New Residential Development), DMD9 (Amenity Space) and DMD10 (Distancing).

Space Standards

- 9.31. All housing units will meet or exceed the minimum internal space standards identified in the London Plan and respond to the design principles set out in the Mayor's Housing SPG (2016). All new residential units will have access to private balconies or terraces which meet or exceed the Mayor's housing space standards contained in the Housing SPG (2016) as well as communal amenity spaces and public realm.

Aspect

- 9.32. All new units across Phases 2&3 are at least dual aspect; with quite a few examples of triple aspect and even units with aspect on four sides; units with outlook on all four elevations being the east-most pair on each Blocks D & F fronting Exeter Road.

Impact to Residential Amenity

- 9.33. The outline application approved a series of parameter plans which set design parameters across Phases 2&3. "Development Plot" parameter plans formed part of the approved drawings secured through the Outline Permission and set out maximum parameters for building footprints and heights across all new build blocks within Phases 2&3. The outline submission was also accompanied by illustrative floorplans across the majority of Phases 2&3 and the floorplans included in this submission reflect these. The detailed floorplans for Phase 1 approved under the hybrid, in tandem with illustrative floorplans for Phases 2 and 3 allowed a robust site-wide assessment of any overlooking to be undertaken at outline stage. It has been accepted through the granting of the outline planning permission that the relationship of the development to neighbouring properties is acceptable in this regard.
- 9.34. The hybrid application was also accompanied by a Daylight & Sunlight (Neighbouring) Study for both the Outline and Full elements of the development; site-wide across all phases. Testing undertaken included the maximum height and massing of all development within Phases 2&3, thus, the impact of all development to which this reserved matters application relates on all relevant affected neighbouring residential units; both within the existing estate and south of it, was understood and concluded acceptable in the assessment of the outline application. The scope of daylight/sunlight testing in the context of this application for reserved matters, relates solely to the testing of the performance of the new dwellings, for which detailed design is submitted, this being Blocks, C, D, E & F.

Overlooking

- 9.35. The detailed floorplans submitted in support of this application affecting Phases 2&3, do not represent any significant departure from illustrative floorplans which supported

the outline application. Regards Block E, the layouts of units fronting Exeter Road were designed carefully to ensure no unacceptable overlooking impact south, toward Arbour Road. Balconies serving these units are orientated primarily off east and west elevations and living spaces are primarily focused with outlook toward these private amenity spaces. Officers conclude that the proposed development affords an acceptable level of privacy to future occupiers of the proposed units whilst adequately safeguarding the amenity of residents of neighbouring dwellings inclusive of existing residents on the site.

Daylight and Sunlight

- 9.36. This application is accompanied by a Daylight and Sunlight Report . The applicant has tested all new units through the methodology of *Sunlight to Windows/Rooms* and *Sunlight to Amenities* and the *Average Daylight Factor (ADF)* test. Regards ADF testing, based on the room use, British Standard BS8206 gives the following recommendations:
- Bedrooms 1% ADF;
 - Living Rooms 1.5% ADF; and
 - Kitchens 2% ADF.
- 9.37. Across all blocks (C, D, E & F), against the ADF testing, the development performs quite well. Across all blocks, 288no. of the 322no. rooms surpass the BRE recognised ADF targets. The majority of rooms that fall short of the relevant target for that room type, are kitchen/dining combination rooms. The majority of instances where the relevant target is not met, are very close to the relevant target.
- 9.38. As per sunlight to windows/rooms testing, of qualifying rooms across the 4no. blocks, 17no. of the 53no. total rooms fall short of recommended target values. However, some of these do meet the target for ADF. The results presented overall present a generally good situation for all units taking both testing results into consideration.
- 9.39. As stated, the testing across all 4no. blocks demonstrates that all units will have a generally good standard of daylight/sunlight. Results should also be read in the context of the quality of accommodation overall, which across the scheme is high given all units are at least dual aspect.
- 9.40. BRE guidance recognise that the numerical guidelines should be interpreted flexibly, in the context of aiming to ensure developments make optimal use of the site. The NPPF also states (Paragraph 125) that authorities should take a flexible approach in applying policies or guidance relating to daylight and sunlight, where they would otherwise inhibit making efficient use of a site.
- 9.41. On review of the results, and when balanced against the other policy objectives, the development will deliver a good standard of accommodation and is supported.

Open Space, Landscape, Play, Biodiversity and Trees

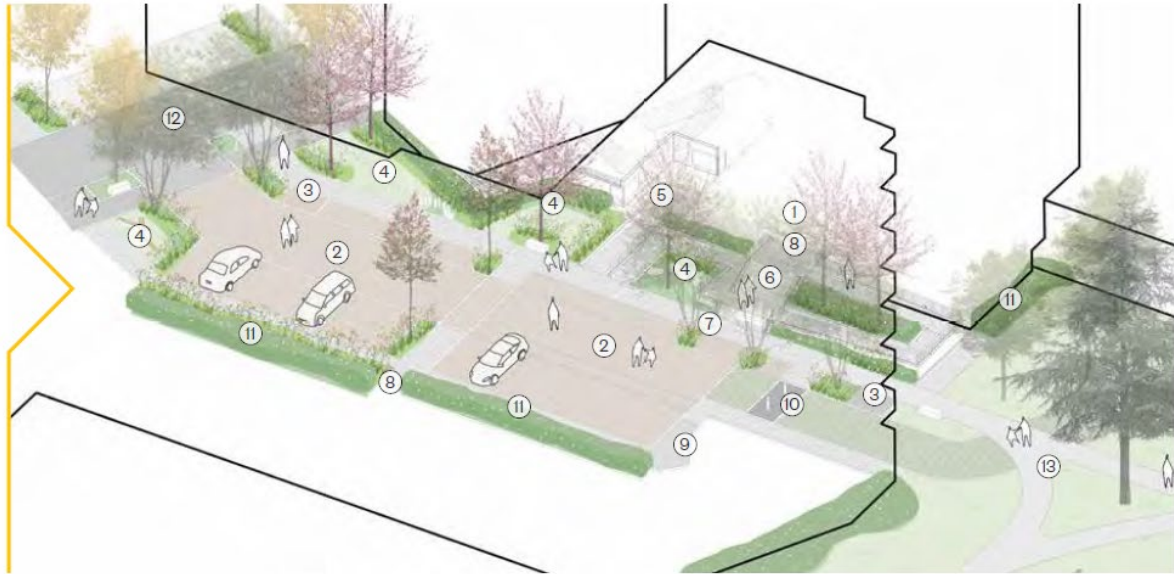
- 9.42. Chapter 8 of the London Plan – Green Infrastructure and the Natural Environment, has a number of policies setting out the London Plan’s position on various matters ranging from the delivery of green infrastructure, to the requirements for new development, in their impacts to biodiversity, approach to drainage and open space and landscaping offer.

- 9.43. Policy G4 outlines that development proposals should where possible, create areas of publicly accessible open space, particularly in areas of deficiency.
- 9.44. Policy G5 outlines that major development proposals should contribute to the greening of London by including urban greening by incorporating measures such as high-quality landscaping, green roofs, green walls and nature based sustainable drainage. Emerging New Enfield Local Plan Policy BG8 outlines that new development will need to demonstrate how it will exceed the urban green factor targets set out in the London Plan. Policy G5 outlines that the Mayor recommends a target score of 0.4 for developments that are predominantly residential.
- 9.45. Policy G6 seeks to ensure development proposals manage impacts on biodiversity and aims to secure net biodiversity gain.
- 9.46. Policy G7 outlines that wherever possible, existing trees of value are retained and where trees are proposed to be removed, there should be an adequate replacement.
- 9.47. Policy S4, also of the London Plan, outlines that development proposals for schemes that are likely to be used by children and young people should, for residential development, incorporate good-quality accessible play provision for all ages. It outlines that at least 10sqm of play space should be provided per child. In addition, in 2019 the GLA introduced an updated play calculator against which applications should be assessed.
- 9.48. Core Strategy Policy 34 and 36 and Policies 71, 72, 73, 78, 79 and 80 of the Development Management Document sets out the Council's positions regards the protection and enhancement of open space, children's play space, ecological enhancements and the treatment of trees on development sites.

Open Space and Landscaping

- 9.49. The hybrid application (21/02076/OUT) approved a Site Wide Open Space Parameter Plan (ref. 3665A-LB-MP-00-DR-A 206 Rev P1) which was subsequently updated by the S96a application (ref. 3665A-LB-MP-00-DR-A 206 Rev. P2). The amended parameter plan changed the location of formal play within Phases 2&3, with this being removed from the roof-levels of existing podium structures and relocated to ground level. The parameter plan highlights site-wide areas of play and *parkland edge* and the location of the *landscape corridor*. Sections 2 (Layout) and 4 (Landscaping) of the approved Design Code, set out design principles to be adhered to in the detailed design of Phases 2&3 regards character areas throughout the site, planting and street design.
- 9.50. Whilst not an approved plan, but rather submitted for illustrative purposes, an Illustrative Landscaping Masterplan was also submitted in support of the hybrid application. This plan primarily set out areas of planting and the schedule of hard-landscaping materials. A revised Illustrative Landscaping Masterplan (ref. 3665D-LB-MP-00-DR-L-200000 Rev. P1) is submitted with this reserved matters application, updated as a result of the site-wide re-distribution of play as approved by the S96a application (21/04792/NMA).
- 9.51. In support of this reserved matters application, the submitted Design and Access Statement (DAS) sets out the detailed landscaping approach across Phases 2&3; to which this reserved matters application relates. The DAS sets out the detailed design approach to each "character area" of the site, as identified within section 4.01 of the

approved Design Code. Within the DAS, the applicant highlights through precedent images, 3D imagery as well as sections, the landscaping approach to each character area inclusive of SuDS features where relevant. See below.



Landscape Courtyard (Crediton Courtyard) (Block E)



Landscape Courtyard (Ashburton Courtyard) (Block C)



Parkland Edge and Landscape Corridor



Exeter Road Character Area

9.52. Further to the above, this application is also supported by detailed planting plans covering the entirety of Phases 2&3. Plans submitted set-out in detail, the planting species schedules, details around hard landscaping materials in all public areas of the site including areas of play, as well as details of the 2no. podium roof level green roof. Landscaping Typical Details plans which set-out across all Blocks within Phases 2&3 are also submitted with this application; primarily details of enclosure and hard landscaping. In addition, Typical Details plans show detail of tree-pits for street trees.

- 9.53. The approved S96a application, as outlined, updated the approved Site Wide Open Space Parameter Plan to account for the post-determination requirement for the placement of 2no. plant-room outbuildings within Phases 2&3 of the development within landscaped areas. To ensure quality, officers recommend that a condition be secured to this reserved matters permission, to require the applicant to provide elevational detail of these 2no. outbuildings
- 9.54. Overall, it is positive to see a landscape led approach to identifying character areas, as it is the space between buildings which defines a place rather than just the facades. In general, the landscape proposals are of high quality and will do a good job of integrating the estate with Durants Park, by softening the edges of the park, increasing biodiversity and upgrading the routes into the park to make it easier for pedestrian and bike access. Downgrading of the existing service roads and removing car parking on the edge of the park is a positive move and is supported. This will activate this space as part of the park and provide more public amenity than is currently provided. The proposals will see extensive new tree planting throughout,, which will enhance the estate for the benefit of existing and new residents.

Play Provision

- 9.55. The approved hybrid Application secured a total provision play space being delivered on site through the development across all phases as 2456sqm which is split, with 572sqm being delivered within Phase 1 (London Plan requires at least 335sqm for Phase 1), 1300sqm in Phase 2 and the remaining 584sqm within Phase 3 (cumulative 1884sqm Phases 2&3).
- 9.56. The approved S96a application referenced above (21/04792/NMA) approved the relocation of play from podium roof-level to ground level. This increases the quantum play space overall from 1884sqm to 1907sqm.
- 9.57. Noting the good level of detail, inclusive of hard-surfacing detail, officers are satisfied with the quality and quantum of the play which the development secures.

Impact to Epping Forest Special Area of Conservation (SAC)

- 9.58. As part of the hybrid application, the applicant submitted a full Habitats Regulations Assessment (HRA). Natural England confirmed that they agreed with the assessment conclusions, providing all mitigation measures outlined within the HRA were secured. The extant condition schedule and shadow S106 Agreement secure all agreed forms of mitigation as set out within the HRA and given this Natural England raise no objection.

Open Space, Landscape, Play, Biodiversity and Trees Conclusions

- 9.59. The submission reflects a robust and detailed approach to open space and landscaping, including play and tree planting which reflects closely, the requirements of the approved design code and the high-level information submitted in support of the outline application. The landscape strategy includes the provision of 57 new trees in Phase 1 and 99 new trees in Phases 2 and 3, totalling 156 trees across all phases. Planting plans submitted set-out clearly the location of planting across the whole site area (Phases 2&3) and the various landscaping plans provide detailed insight as to the detailed design approach to landscaping across all character areas; inclusive of details of hard landscaping which are also in accordance with the approved Design

Code. The conditions already secured through the Outline permission related to lighting and landscaping management remain extant and officers are supportive of the approach to landscaping overall.

Sustainability and Climate Change

- 9.60. Paragraph 154 of the NPPF requires new developments to 'be planned for in ways that avoid increased vulnerability to the range of impacts from climate change... and help to reduce greenhouse gas emissions, such as through its location, orientation and design'. The Council's Cabinet declared a state of climate emergency in July 2019 and committed to making the authority carbon neutral by 2030 or sooner. The key themes of the Sustainable Enfield Action Plan relate to energy, regeneration, economy, environment, waste and health. The London Plan and Enfield (Regulation 18) emerging Local Plan each make reference to the need for development to limit its impact on climate change, whilst adapting to the consequences of environmental changes. Furthermore, the London Plan sets out its intention to lead the way in tackling climate change by moving towards a zero-carbon city by 2050.
- 9.61. London Plan Policy SI 2 (Minimising Greenhouse Gas Emissions) sets out the new London Plan's requirements for major development from the perspective of minimising greenhouse gas emissions. For major development, the policy sets out as a starting point, that development should be zero-carbon and it requires, through a specified energy hierarchy, the required approach to justifying a scheme's performance.
- 9.62. London Plan Policy SI 2(C) outlines that new major development should as a minimum, achieve 35% beyond Building Regulations 2013, of which at least 10% should be achieved through energy efficiency measures for residential development. Policy DMD55 and paragraph 9.2.3 of the London Plan advocates that all available roof space should be used for solar photovoltaics.
- 9.63. London Plan Policy SI 4 outlines that major development proposals should demonstrate through an energy strategy how they will reduce the potential for internal overheating and reliance on air conditioning systems in accordance with a cooling hierarchy.
- 9.64. NPPF Paragraph 157 outlines that LPAs should expect new development to comply with any development plan policies on local requirements for decentralised energy supply unless it can be demonstrated by the applicant, having regard to the type of development involved and its design, that this is not feasible or viable

Minimising Greenhouse Gas Emissions

- 9.65. An Energy and Overheating Assessment has been prepared which provides an overview of the energy and sustainability strategies for the proposed development. The document demonstrates how the proposal has sought to meet London Plan requirements inclusive of the energy hierarchy and relevant Council policies.
- 9.66. The assessment outlines that the development proposed has been designed to employ robust and high-performance passive design measures, utilises a highly insulating building fabric and a high-performance airtightness envelope, along with employing energy efficient infrastructure such as ventilation systems with heat recovery. The development utilises low-carbon heat pumps as a heat source along with integrating roof-level photovoltaic panels.

- 9.67. Appendix D of the Strategy outlines the regulated carbon dioxide savings across Phases 2&3 of the development and demonstrates target emission reduction from the baseline (Part L 2013) can be exceeded through the proposed energy efficiency measures and can achieve the 10% (be lean) and exceeds the 35% (be green) target, achieving 72% across both phases cumulatively. The approach to minimising greenhouse gas emissions reflects closely, the approach taken on Phase 1 of the development; secured through the Energy and Overheating Assessment approved by the Hybrid Application. To be consistent with actions taken on Phase 1 of the development, and to ensure the assessment's outlined reduction target are met, officers recommend a condition be attached to this Reserved Matters application requiring compliance with the Energy and Overheating Assessment, and prior to the occupation of Phases 2 & 3 of the development, evidence, inclusive of EPC certificates, to demonstrate compliance.

Overheating and Cooling Strategy

- 9.68. Supporting text to Policy SI 4 (paragraph 9.4.4) outlines that passive ventilation should be prioritised where appropriate and that where air conditioning systems including active cooling systems are unavoidable, these should be designed to reuse the waste heat they produce.
- 9.69. The energy and overheating strategy outlines that mechanical ventilation is to be utilised which incorporates air handling units with heat recovery. The approach involves a "boost" button which will provide occupants with the ability to ramp up the ventilation rates within their flat to increase ventilation.
- 9.70. It is also proposed that active cooling is integrated which is delivered through the proposed ASHP system. The primary justification for the use of active cooling relates to the applicant requiring the provision of window restrictors for safety reasons. The applicant has informed that all windows are to be restricted to 100mm max opening. This is also applicable to ground floor windows for the reason of security.
- 9.71. The applicant has tested a fully passive approach. However, has due to elevational design constraints and the requirement for window restrictors this could not be achieved. The overheating and cooling strategy closely reflects that as proposed to be utilised on Phase 1; as per the Energy and Overheating Assessment approved by the Hybrid Application (Max Fordham, dated 24.05.21). The justification is acknowledged and the approach proposed is accepted.

Flood Risk and drainage

- 9.72. The hybrid scheme approved a Flood Risk Assessment and Preliminary Drainage Strategy and the requirement for the submission of a final sustainable drainage strategy and separate verification reports were secured through conditions on both the full and outline condition schedules. The subsequent S96a application affecting the site updated condition O43 (Final Sustainable Drainage Strategy) in light of the 96a application approving changes to the site-wide distribution of green roofs. The hybrid permission secured detail which set out how the proposed development is to be served by a network of different SuDS elements as set out within the approved Flood Risk Assessment and Surface Water Drainage Strategy, Design Code and the Design and Access Statement supporting the hybrid scheme.

- 9.73. Further to the above, in support of this reserved matters application, the applicant has submitted an addendum to the Drainage Strategy (Conisbee, dated 08.12.21). The addendum provides additional insight as to SuDS features to be integrated into the landscaping strategy. Officers are satisfied that the relevant conditions secured through the outline permission require the applicant to provide this detail in full, in tandem with the required final sustainable drainage strategy.

Contamination

- 9.74. The outline condition schedule attached to the hybrid permission captured relevant details regards latter phases to come forward within the reserved matters application. Condition O16 (Contamination Investigation Report) part (a) requires any subsequent application to be accompanied by a Desk Study & Ground Investigation Report for each phase.
- 9.75. This application is supported by a Desk Study Report (GEA, December 2021). The study concluded that there is a low risk of any significant contaminant linkage at this site which would require any major remediation work. Section 5 of the report outlines that a separate Ground Investigation Report was being completed at the time of this application's submission. This was subsequently submitted to the LPA and the Council Environmental Protection Officer was re-consulted. The report concludes minor contamination presence on site. Part (b) of condition O16, to reiterate, already secured through the hybrid permission, requires prior to the occupation of Phases 2&3, the applicant submits a verification report demonstrating the completion of works (as required) and the effectiveness of remediation. Officers are satisfied that the extant condition schedule secures adequately, the mechanism to ensure the applicant demonstrate adequate remediation has taken place, through requiring the submission of a verification report.

Impact on Heritage Assets

- 9.76. Policy HC1 of the London Plan outlines that development proposals affecting heritage assets and their settings, should conserve their significance by being sympathetic to the assets' significance and appreciation within their surroundings. Regards archaeology, the policy outlines that development proposals should identify assets of archaeological significance and use this information to avoid harm or minimise it through design and appropriate mitigation.
- 9.77. Policy CP31 outlines that the Council will ensure that built development and interventions in the public realm that impact on heritage assets have regard to their special character and are based on an understanding of their context.
- 9.78. Policy DMD44 outlines that applications for development which fail to conserve and enhance the special interest, significance or setting of a heritage asset will be refused.
- 9.79. Paragraphs 201 and 202 of the NPPF outline the required approach to assessment regards development which affects designated heritage assets, depending on whether harm is concluded to be substantial or less than substantial. Paragraph 203 of the NPPF outlines that the effect of an application on the significance of a non-designated heritage assets should be taken into account in the determination

process and that in weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

- 9.80. In support of the hybrid application, the applicant submitted a Heritage Statement and an Archaeology Assessment. The heritage statement concluded that the proposed development would have a positive impact on the site and the surrounding area, inclusive of the locally listed Durants Park on the basis of additional planting more clearly defining the boundary of the estate
- 9.81. This conclusion was not fully supported with Officers considering that the proposed development may result in some harm to the non-designated heritage asset; Durants Park. This was namely from views from the north through the site by way of the intensification of the site and the harm was noted as cumulative to that caused by the existing buildings of the estate. However, in taking a balanced judgement, as required by Paragraph 202 of the NPPF, it was concluded that additional landscaping along the northern edge of the estate would be proportionate and suitable mitigation. This submission provides the detail of that landscaping to this northern edge. The landscaping scheme proposed is supported and therefore the development's impact on the non -designated heritage asset will be appropriately mitigated.
- 9.82. Historic England GLAAS were consulted on the hybrid application and advised that there is low potential for archaeological remains on site and that no further assessment or conditions were necessary.

10. Conclusions

- 10.1. The principle of this estate regeneration scheme has been accepted through the hybrid application (21/02076/OUT), as amended by the subsequent approved S96a application (21/04792/NMA). The scheme included a Design Code and a set of parameter plans, as well as details surrounding housing/tenure mix and the site-wide approach to highways amongst other things.
- 10.2. This application for reserved matters provides details of appearance and landscaping for Phases 2 and 3, pursuant to the outline permission. Officers are satisfied that the details submitted will deliver a scheme of high quality design providing good quality accommodation for future residents and a well-considered landscaping and public realm within which the buildings will sit. The development as proposed is in compliance overall with the development plan and approval is therefore recommended



Key	
	Redline Boundary
	MOL Boundary
	+0.000 Existing Level
	+0.000 Proposed Level
	PROPOSED TREE PLANTING Refer to Planting Plan L-9100
	TREE TO BE REMOVED Refer to Arboricultural Report
	TREE TO BE RETAINED Refer to Arboricultural Report
	PLANTING Refer to Planting Plan
	P01 Adapted Asphalt Surface
	P02 Adapted Permeable PCC Block Paving 240x100mm, Slatcher Bond, Colour: Grey Mix - 50% Pennant Grey/50% Charcoal
	P03 Adapted Permeable PCC Block Paving 240x100mm, Slatcher Bond, Colour: Burnt Ochre
	P04 Adapted PCC Flag Pavers 600x450mm, Staggered Bond, Colour: Charcoal
	P05 PCC Pavers 400x400mm, Stacked Bond, Colour: Charcoal
	P06 Tarmac Colourchurn with Stone Aggregate Colour: Silver Grey
	P07 PCC Pavers - Natural Stone Wearing Course 300x100mm, Slatcher Bond, Colour: Mid Grey Granite - Telford
	P08 PCC Pavers - Natural Stone Wearing Course 300x100mm, Slatcher Bond, Colour: Anthracite Granite - Telford
	P09 PCC Paving Band - Natural Stone Wearing Course 300x200mm, Colour: Light Granite - Telford
	P10 Timber Decking - Accoya 145x22 FSC Certified Timber with Anti-slip Grip
	P11 Asphalt Paths Colour: Black, To Match Existing
	P12 Compacted Self-Binding Gravel Path Breedon or Equivalent Approved
	P13 Tactile Paving 400x400mm, Colour: Buff
	P14 Grasscrete Colour: Natural
	P15 Wetpour Safety Surface Colour: Orient Blue RAL 240 40 25
	P16 Wetpour Safety Surface Colour: Air Blue RAL 240 85 10
	P17 Rubber Mulch Safety Surface Colour: Mowed Browns
	P18 Coloured Concrete Slab Features Colour: Flame Red, RAL 602 50 50
	P19 Concrete Steps Contrasting Visibility Strips, Colour: Silver Grey
	L01 Adapted Street Light, Column Colour: Black and RAL 3032 to match other metal furniture in Exeter Road Square, To Engineer's Detail and Specification
	L02 Column Light - Wild Life Sensitive, To Engineer's Detail and Specification
	L03 Tree Uplighter, To Engineer's Detail and Specification
	E01 Raised PCC Kerb 125mm upstand, Marshalls Conservation X Or similar Approved, Colour: Silver Grey
	E02 Flush PCC Kerb, Marshalls Conservation X Or similar Approved, Colour: Silver Grey
	E03 Hi and Miss Granite Kerb 125mm upstand, Marshalls Conservation X Or similar Approved, 100mm Spacing, Colour: Dark Grey
	E04 Flush Steel Edge Colours: By Kierley or Similar Approved
	B01 Steel Railing - 1100mm High To Match Architectural Railing
	B02 Brick Garden Wall - 1450mm High To Match Building Brick Work
	B03 Steel Gate - 1100mm High To Match Architectural Railing
	B04 Brick Garden Wall - 2100mm High To Match Building Brick Work
	B05 Timber Closed Board Fence - 1800mm High FSC Certified Timber
	B06 Steel Raised Planter with House No. - 1100mm High Colour: RAL To Match Architectural Railing
	B07 Steel Gate - 2100mm High To Match Architectural Railing
	B08 Steel Railing - 2100mm High To Match Architectural Railing
	B09 Brick Retaining Wall to match adjacent building, with Railing to meet requirements of Part K
	B10 Brick Boundary Wall 1500mm High with Steel Railing above to total 2100mm High, To Match Architectural Railing
	B11 Brick Retaining Wall with 150mm upstand and 1100mm Steel Railing above, To Match Architectural Railing
	B12 Steel Railing to Play Area - 600mm High To Match Architectural Railing
	F01 Concrete Bench with Timberpost Seat By Furnitubes or Equivalent Approved
	F02 Stepping Rocks - Play Feature Surface to be free of jagged/sharp edges
	F03 Stepping Logs - Hardwood Timber Post, FSC Certified, Sanded free of splinters
	F04 Ping Pong Table, By Ping Out or Equivalent Approved, RAL 3032 to match other metal furniture
	F05 Steel Exercise Equipment - Kierley Outdoor Gym by Nota or Equivalent Approved, RAL 3032 to match other metal furniture
	F06 Reclaimed Timber Log Retained from Trees Felled on Site Where Possible
	F07 Bench Seat To Enfield Parks Specification
	F08 Sheffield Steel Cycle Stand, By Furnitubes or Equivalent Approved RAL 3032 to match other metal furniture
	F09 Bin Store with Green Roof, Approx. 2m(L) x 1m(W) x 1.4m(H), Steel frame with timber panels, RAL colour to match building
	F10 Cycle Store with Green Roof, Approx. 2m(L) x 1m(W) x 1.4m(H), Suitable for 2x Bicycle or 1x Adapted Cycle
	F11 Bollard - Fixed 900mm High x 100mm Ø, RAL 3032 to match other metal furniture
	F12 Bollard - Dropped 900mm High x 100mm Ø, RAL 3032 to match other metal furniture
	F13 Microcycle Ground Anchor Colour: Black
	F14 Plonic bench - By Furnitubes or Equivalent Approved
	HABITAT FEATURE Recessed Bird and Bat Box Installed on Building Facade (as per Ecologist Recommendation) and Log Pile/Insect Hotels within Planting Beds (Where Indicated)

NOTE:
 - All materials within highway boundary subject to local highways authority approval
 - All service and manhole covers to be recessed to allow paved surfaces to be intact
 - All service and manhole covers to be located in transverse when possible

Notes

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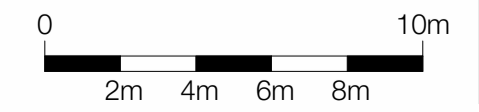
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Phase 2 - Refer to Drawing 3665D-LB-SL-00-DR-L-200002

Phase 1 - Refer to Planning Reference No. 21/02076/OUT

Wetland Proposal By Others Refer to Planning Reference No. 20/03211/RE4

1 | Landscape GA - Phase 2 - East
1 : 200



P1	08/12/21	Planning Issue	MS
Rev	Date	Description	Drawn / Checked
Project name			
Exeter Road Masterplan Estate Regeneration			
Drawing number			
3665D-LB-XX-00-DR-L-200002			
Drawing			
Landscape GA - Phase 2&3 - Block C and D			
Purpose of issue			
Tender			
Scale			
As indicated @ A1			
Date			
15/10/21			
Client			
London Borough of Enfield			

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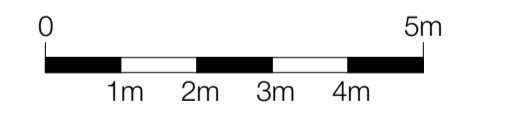
1 Block C West Elevation

Materials	
Code	Description
-	For all landscape, topography, planting, boundary treatments and fencing/wall details refer to landscape drawings
01	Facing brickwork Type 01: Light buff stock brick. Stretcher bond with off-white mortar
02	Facing brickwork Type 02: Mid buff stock brick. Stretcher bond with mid-grey mortar
03a	Soldier course: Mid buff stock brick. Stretcher bond with mid-grey mortar
04	Pre-patinated green zinc cladding. Vertical standing seam widths to vary 300-600mm to suit window setting out.
05	Hit and miss brickwork. Facing brickwork Type 01
06	Soffit Type 01: white pre-cast concrete
07	Soffit Type 02: Metal in RAL 7034
10	Pressed metal coping. Coping to match adjence window frames colours

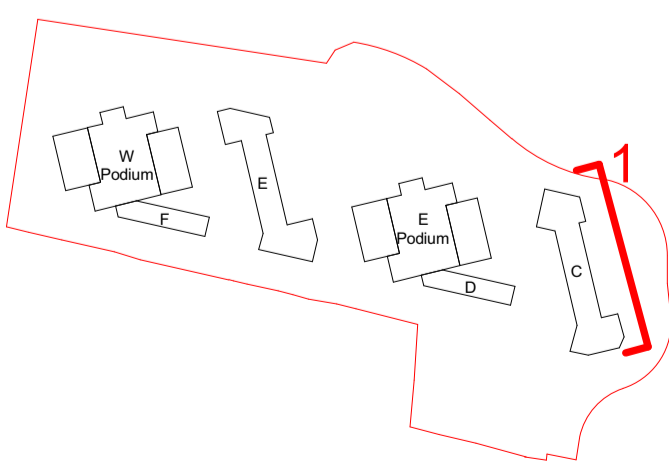
Materials	
Code	Description
11a	Window Type 01a: Double glazed PPC aluminium composite window with pressed metal sills, in RAL 7034. Recessed into brickwork min.190mm
11b	Window Type 01b: Double glazed PPC aluminium composite window with pressed metal sills, in RAL7009. Recessed into brickwork min.190mm
12	Window Type 02: As 1a for balcony windows
13	Window Type 03: As 1a for maisonette entrance
16	Door type 03: Composite Front Door with glazed over-panel. In RAL 7034
17	Door Type 04: PPC aluminium door with inset flush louvres and matching lowered over-panels in RAL 7034
20	Canopy Type 02: Metal roof in Yellow grey RAL 7034 with matching soffit

Materials	
Code	Description
21	Balcony Type 01: Bolt-on pre-cast concrete balcony smooth white with exposed concrete soffit and paved floor finish, dark grey colour paving floor finish. Railing type varies
23	Railing Type 01: Metal railing and fascia consisting of 50x10mm PPC steel flats with matching flat metal handrail. Colour to match window frames generally
24	Railing Type 02: As type 01 but with imperforated solid panel behind balustrading for privacy. Colour to match window frames generally
25	Railing Type 03: Metal perforated panel with pattern. Colour to match windows frames generally
26a	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7034. Spandrel panel to match where shown
26b	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7009. Spandrel panel to match where shown

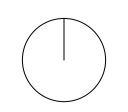
Materials	
Code	Description
26c	Metal panel with flush metal, in RAL 7009. Spandrel panel to match where shown
28	Square, 100x100mm downpipe with matching hopper and overflows as required in RAL 7034 on brickwork
29	Stainless steel metal 3D lettering signage
31	Perforated metal screen colour to match window frames generally



- Notes**
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Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BC - XX - DE - A - 130100 P2

Purpose of issue
Planning

Scale
1 : 100 @ A1

Client
London Borough of Enfield

Project name
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Rev Date Description Drawn / Checked

P2	23/02/22	Planning Submission	DP
P1	09/12/21	Planning Submission	RF

Date
10/06/21



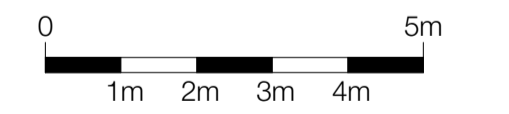
1 Block C East Elevation

Materials	
Code	Description
01	Facing brickwork Type 01: Light buff stock brick. Stretcher bond with off-white mortar
02	Facing brickwork Type 02: Mid buff stock brick. Stretcher bond with mid-grey mortar
03a	Soldier course: Mid buff stock brick. Stretcher bond with mid-grey mortar
04	Pre-patinated green zinc cladding. Vertical standing seam widths to vary 300-600mm to suit window setting out.
05	Hit and miss brickwork. Facing brickwork Type 01
06	Soffit Type 01: white pre-cast concrete
10	Pressed metal coping. Coping to match adjace window frames colours
11	

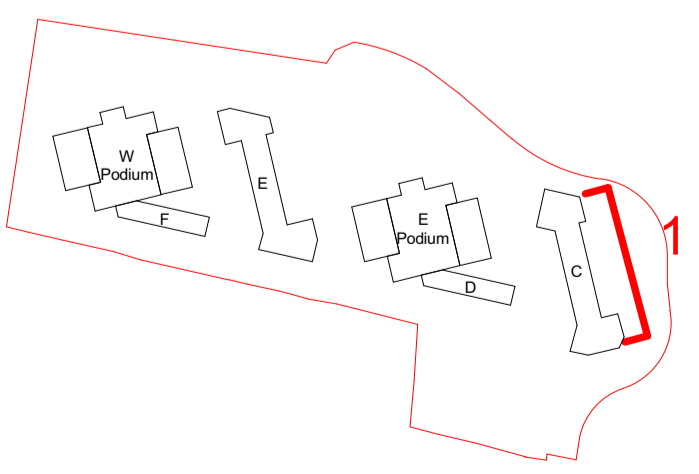
Materials	
Code	Description
11a	Window Type 01a: Double glazed PPC aluminium composite window with pressed metal sills, in RAL 7034. Recessed into brickwork min.190mm
11b	Window Type 01b: Double glazed PPC aluminium composite window with pressed metal sills, in RAL7009. Recessed into brickwork min.190mm
12	Window Type 02: As 1a for balcony windows
13	Window Type 03: As 1a for maisonette entrance
14	Door Type 01: Flush door and metal frame panel PPC finished, in RAL 7034
16	Door type 03: Composite Front Door with glazed over-panel. In RAL 7034
20	Canopy Type 02: Metal roof in Yellow grey RAL 7034 with matching soffit

Materials	
Code	Description
21	Balcony Type 01: Bolt-on pre-cast concrete balcony smooth white with exposed concrete soffit and paved floor finish, dark grey colour paving floor finish. Railing type varies
22	Balcony Type 02: As type 1, but inset balcony
23	Railing Type 01: Metal railing and fascia consisting of 50x10mm PPC steel flats with matching flat metal handrail. Colour to match window frames generally
24	Railing Type 02: As type 01 but with imperforated solid panel behind balustrading for privacy. Colour to match window frames generally
25	Railing Type 03: Metal perforated panel with pattern. Colour to match windows frames generally
26a	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7034. Spandrel panel to match where shown

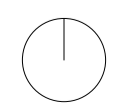
Materials	
Code	Description
26b	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7009. Spandrel panel to match where shown
28	Square, 100x100mm downpipe with matching hopper and overflows as required in RAL 7034 on brickwork
31	Perforated metal screen colour to match window frames generally
34	AOV to specialist design and specification. Frame in Ral 7034



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Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BC - XX - DE - A - 130101

Purpose of issue
Planning

Scale
1 : 100 @ A1

Client
London Borough of Enfield

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Rev | Date | Description | Drawn / Checked

P3	04/03/22	Planning Update	DP
P2	23/02/22	Planning Submission	DP
P1	09/12/21	Planning Submission	RF

Date: 10/06/21

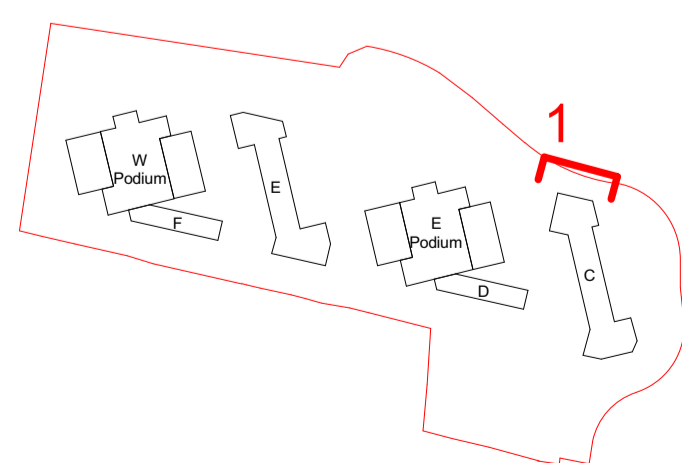
Materials	
Code	Description
01	Facing brickwork Type 01: Light buff stock brick. Stretcher bond with off-white mortar
02	Facing brickwork Type 02: Mid buff stock brick. Stretcher bond with mid-grey mortar
03a	Soldier course: Mid buff stock brick. Stretcher bond with mid-grey mortar
06	Soffit Type 01: white pre-cast concrete
10	Pressed metal coping. Coping to match adjence window frames colours
11a	Window Type 01a: Double glazed PPC aluminium composite window with pressed metal sills, in RAL 7034. Recessed into brickwork min.190mm
12	Window Type 02: As 1a for balcony windows
17	Door Type 04: PPC aluminium door with inset flush louvres and matching louvered over-panels in RAL 7034
21	Balcony Type 01: Bolt-on pre-cast concrete balcony smooth white with exposed concrete soffit and paved floor finish, dark grey colour paving floor finish. Railing type varies
24	Railing Type 02: As type 01 but with imperforated solid panel behind balustrading for privacy. Colour to match window frames generally
25	Railing Type 03: Metal perforated panel with pattern. Colour to match window frames generally
26a	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7034. Spandrel panel to match where shown
28	Square, 100x100mm downpipe with matching hopper and overflows as required in RAL 7034 on brickwork
33	PV Panels. Max height of panels should be no higher than the parapet height (not visible in elevation) Flush mounted if on standing seam
34	AOV to specialist design and specification. Frame in Ral 7034



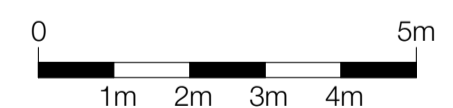
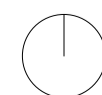
1 Block C North Elevation

Notes

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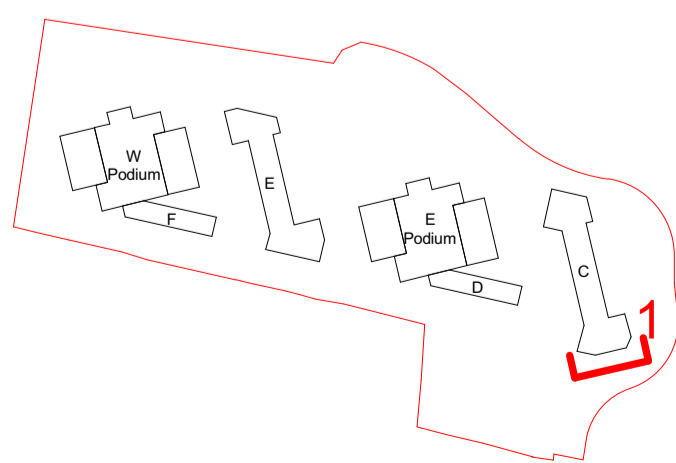
Project name	Exeter Road Estate Regeneration		Levitt Bernstein levittbernstein.co.uk
Drawing number	3665D - LB - BC - XX - DE - A - 130102	Rev	
Purpose of issue	Planning	Suitability Code	
Scale	1 : 100 @ A1	Date	10/06/21
Client	London Borough of Enfield		
			London Thame Studios 2-4 Thame Villas London W7 7PA +44 (0)20 7275 7676
			Manchester Bonded Warehouse 18 Lower Byrom Street Manchester M3 4AP +44 (0)161 669 8740

P2	23/02/22	Planning Submission	DP
P1	09/12/21	Planning Submission	RF
Rev	Date	Description	Drawn / Checked

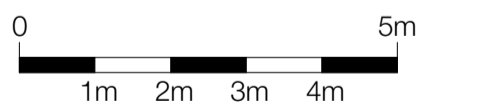
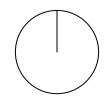


Materials	
Code	Description
01	Facing brickwork Type 01: Light buff stock brick. Stretcher bond with off-white mortar
02	Facing brickwork Type 02: Mid buff stock brick. Stretcher bond with mid-grey mortar
03a	Soldier course: Mid buff stock brick. Stretcher bond with mid-grey mortar
06	Soffit Type 01: white pre-cast concrete
10	Pressed metal coping. Coping to match adjence window frames colours
11a	Window Type 01a: Double glazed PPC aluminium composite window with pressed metal sills, in RAL 7034. Recessed into brickwork min.190mm
12	Window Type 02: As 1a for balcony windows
19	Canopy Type 01: White pre-cast concrete
20	Canopy Type 02: Metal roof in Yellow grey RAL 7034 with matching soffit
21	Balcony Type 01: Bolt-on pre-cast concrete balcony smooth white with exposed concrete soffit and paved floor finish, dark grey colour paving floor finish. Railing type varies
24	Railing Type 02: As type 01 but with imperforated solid panel behind balustrading for privacy. Colour to match window frames generally
25	Railing Type 03: Metal perforated panel with pattern. Colour to match window frames generally
26a	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7034. Spandrel panel to match where shown
28	Square, 100x100mm downpipe with matching hopper and overflows as required in RAL 7034 on brickwork
29	Stainless steel metal 3D lettering signage
31	Perforated metal screen colour to match window frames generally
33	PV Panels. Max height of panels should be no higher than the parapet height (not visible in elevation) Flush mounted if on standing seam

- Notes**
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Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BC - XX - DE - A - 130103 P2

Purpose of issue
Planning

Scale
1 : 100 @ A1

Date
10/06/21

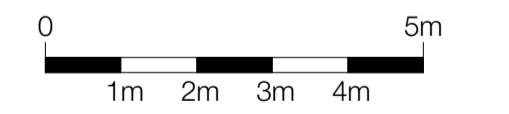
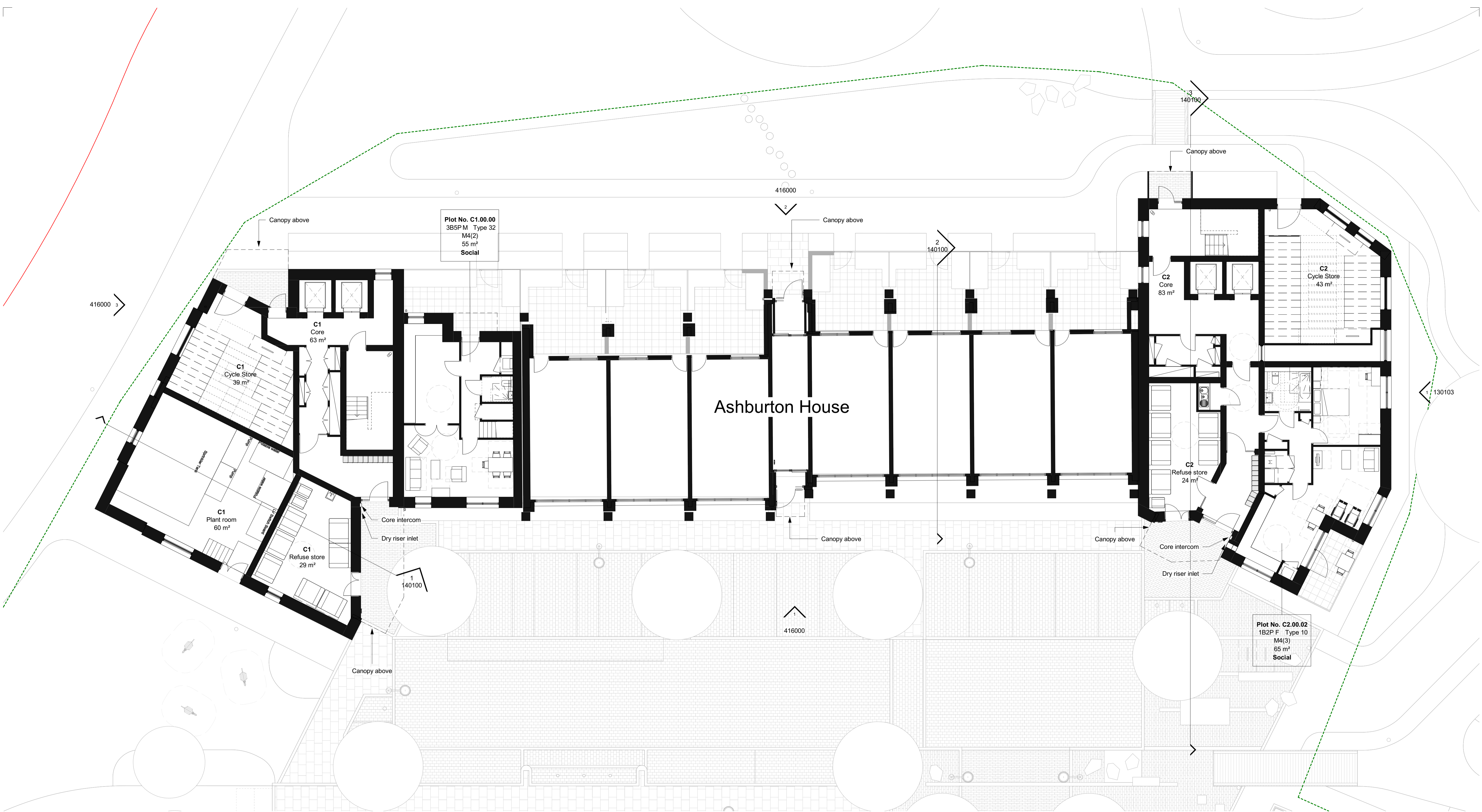
Client
London Borough of Enfield

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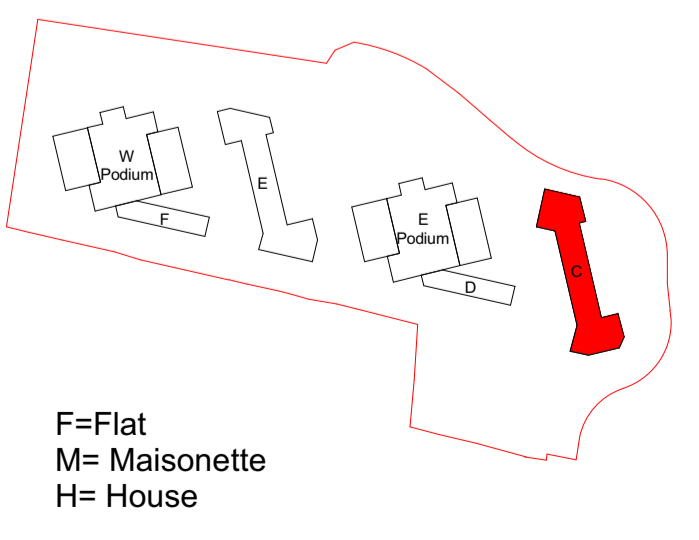
London
Thames Studios
2-4 Thame Villas
London W7 7PA
+44 (0)20 7275 7676

Manchester
Bonded Warehouse
18 Lower Byrom Street
Manchester M3 4AP
+44 (0)161 668 8740

Rev	Date	Description	Drawn / Checked
P2	23/02/22	Planning Submission	DP
P1	09/12/21	Planning Submission	RF



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F=Flat
M= Maisonette
H= House

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P2	04/03/22	Planning Update	DP
P1	09/12/21	Planning Submission	RF
Rev	Date	Description	Drawn / Checked

Project name
Exeter Road
Estate Regeneration

Drawing number
3665D - LB - BC - 00 - DP - A - 120100

Drawing
Block C Proposed Ground Floor Plan - Level 00

Purpose of issue
Planning

Scale
1 : 100 @ A1

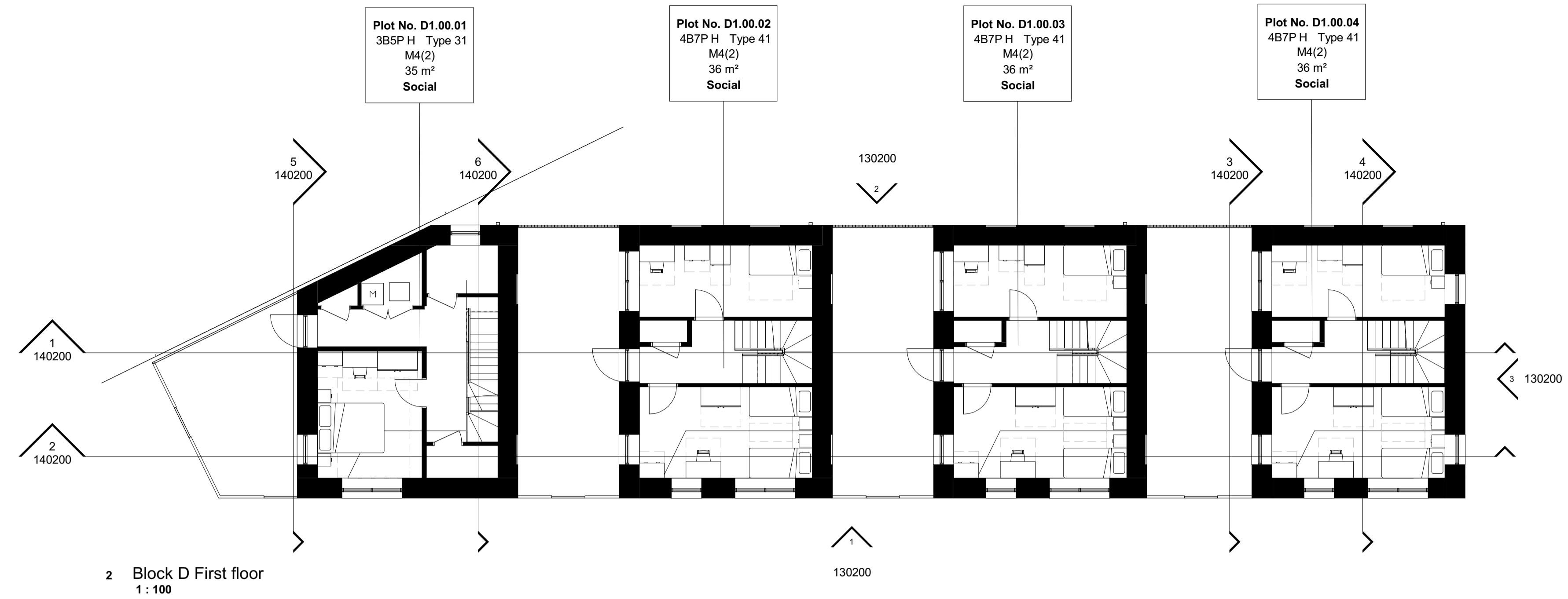
Date
07/21/21

Client
London Borough of Enfield

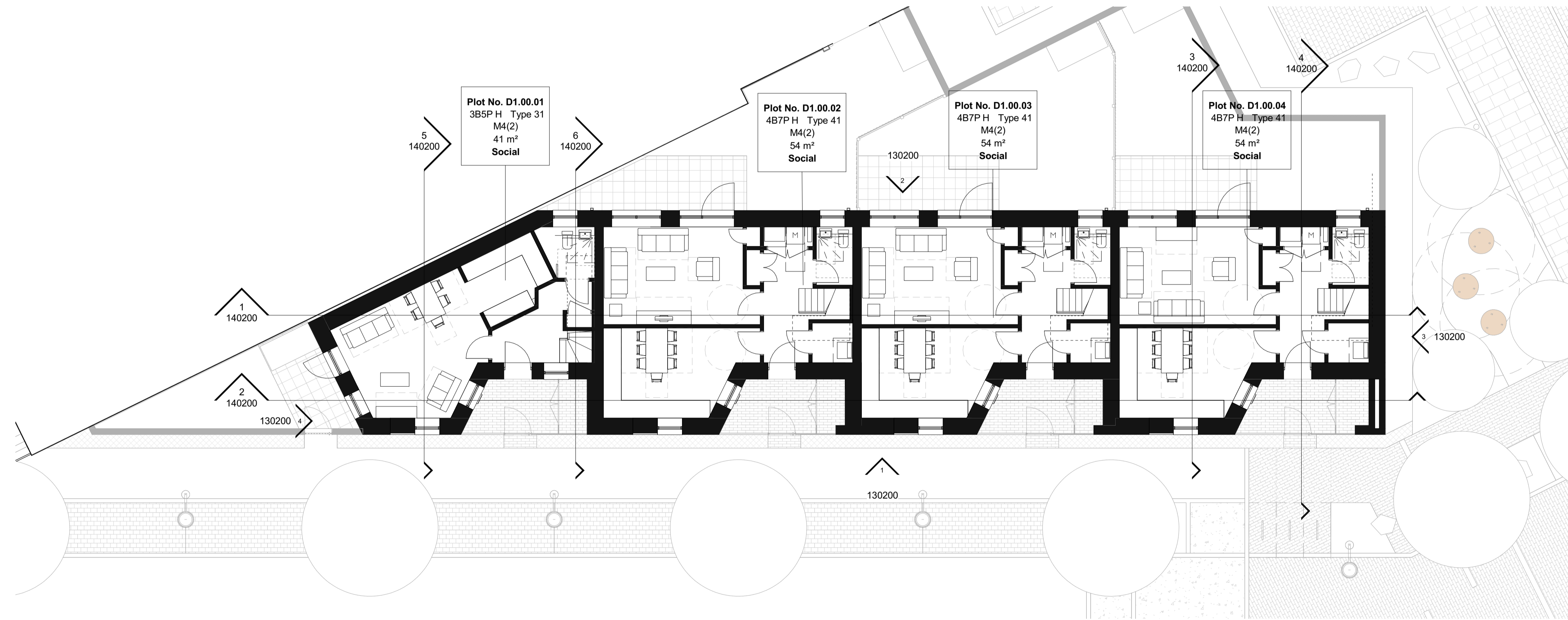
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+44 (0)20 7275 7676

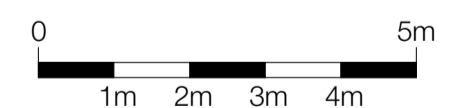
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Bonded Warehouse
18 Lower Byrom Street
Manchester M3 4AP
+44 (0)161 669 8740



2 Block D First floor
1 : 100



1 Block D Ground Floor
1 : 100



Notes

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H= House

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Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BD - ZZ - DP - A - 120200

Drawing
Block D Proposed Ground and First Floor - Level 00-01

Purpose of issue
Planning

Scale
1 : 100 @ A1

Date
27/07/21

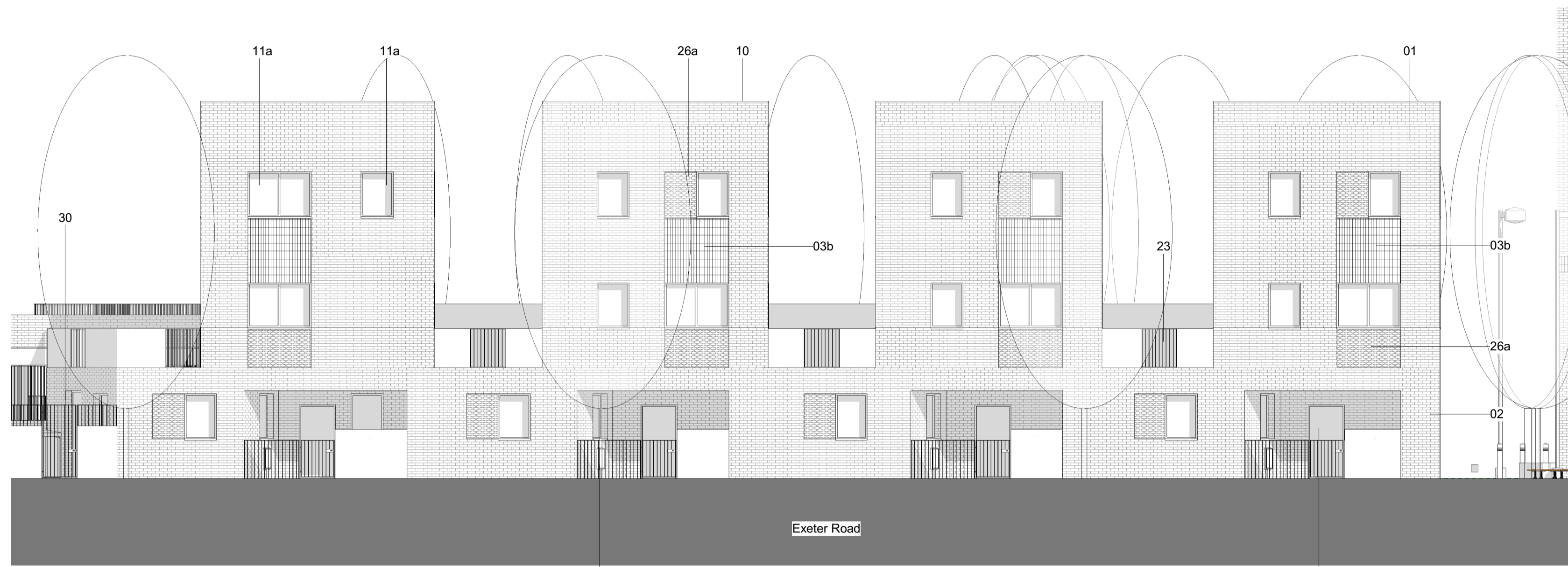
Client
London Borough of Enfield

Levitt Bernstein
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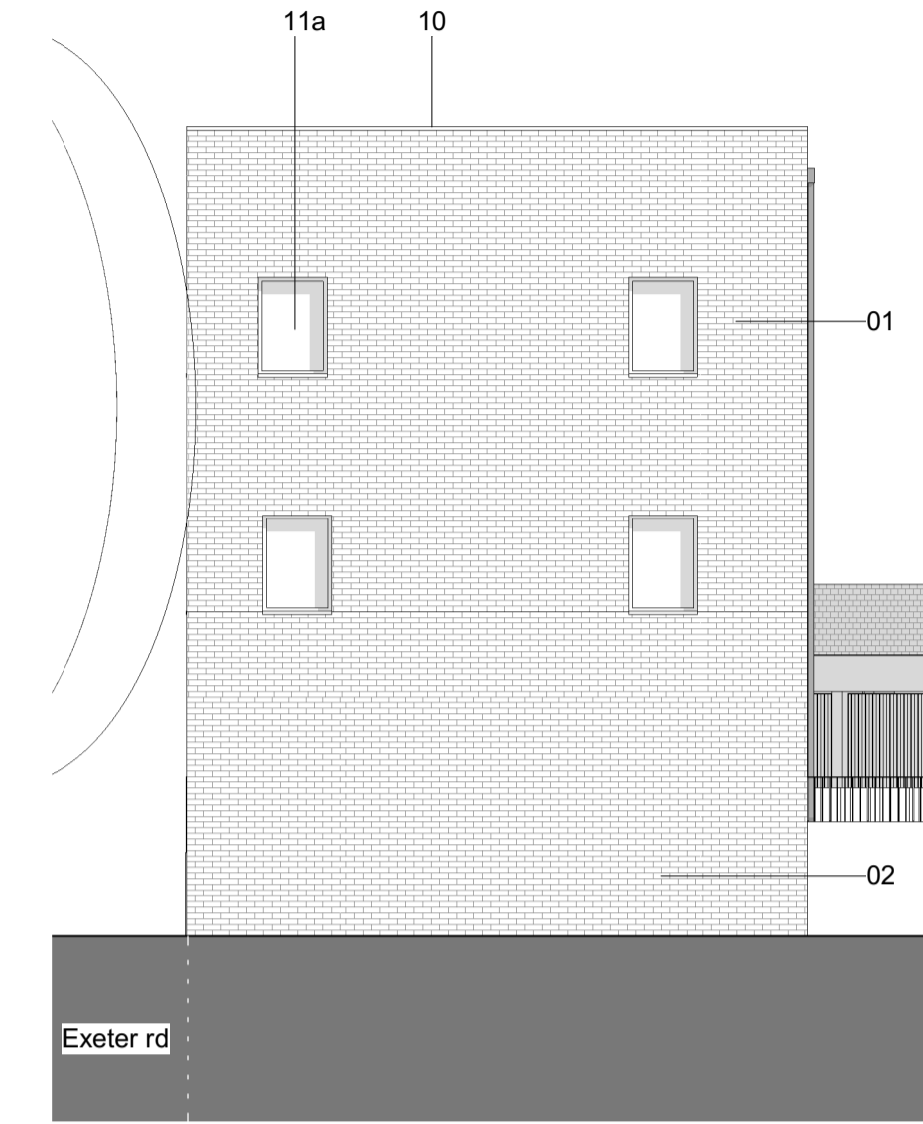
London
Thames Studios
2-4 Thame Villas
London W7 7PA
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Manchester
Bonded Warehouse
18 Lower Byrom Street
Manchester M3 4AP
+44 (0)161 669 8740

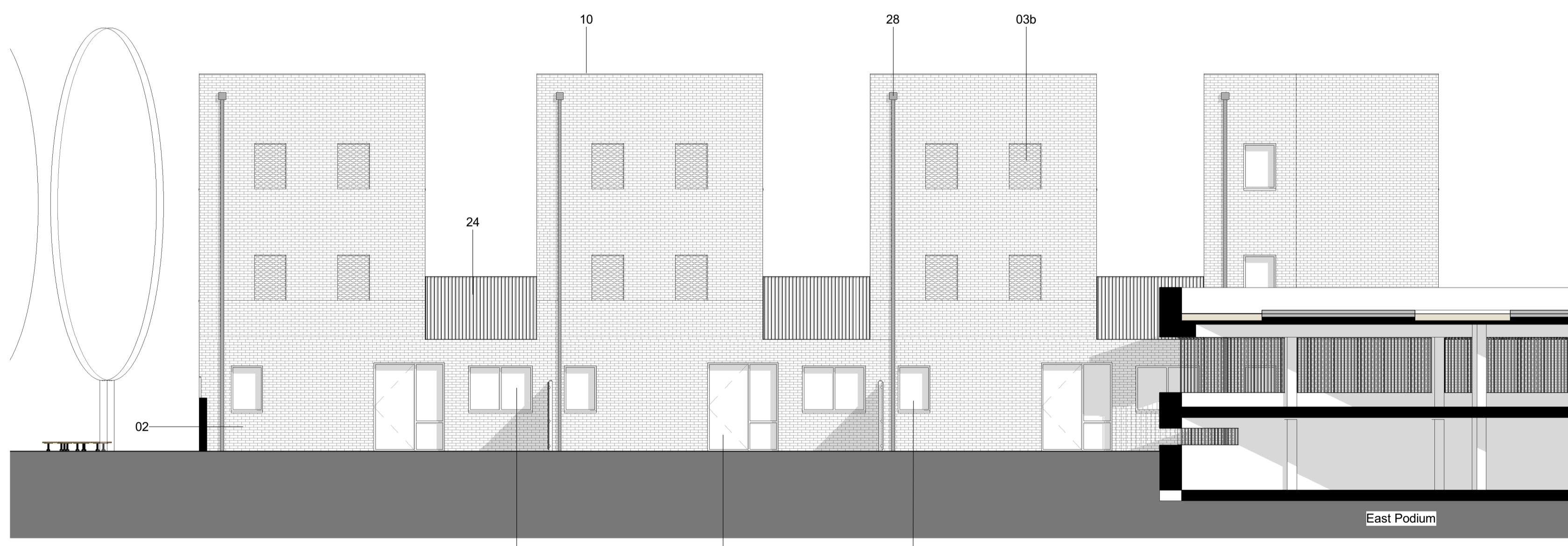
P1 09/12/21 Planning Submission RF
Rev Date Description Drawn / Checked



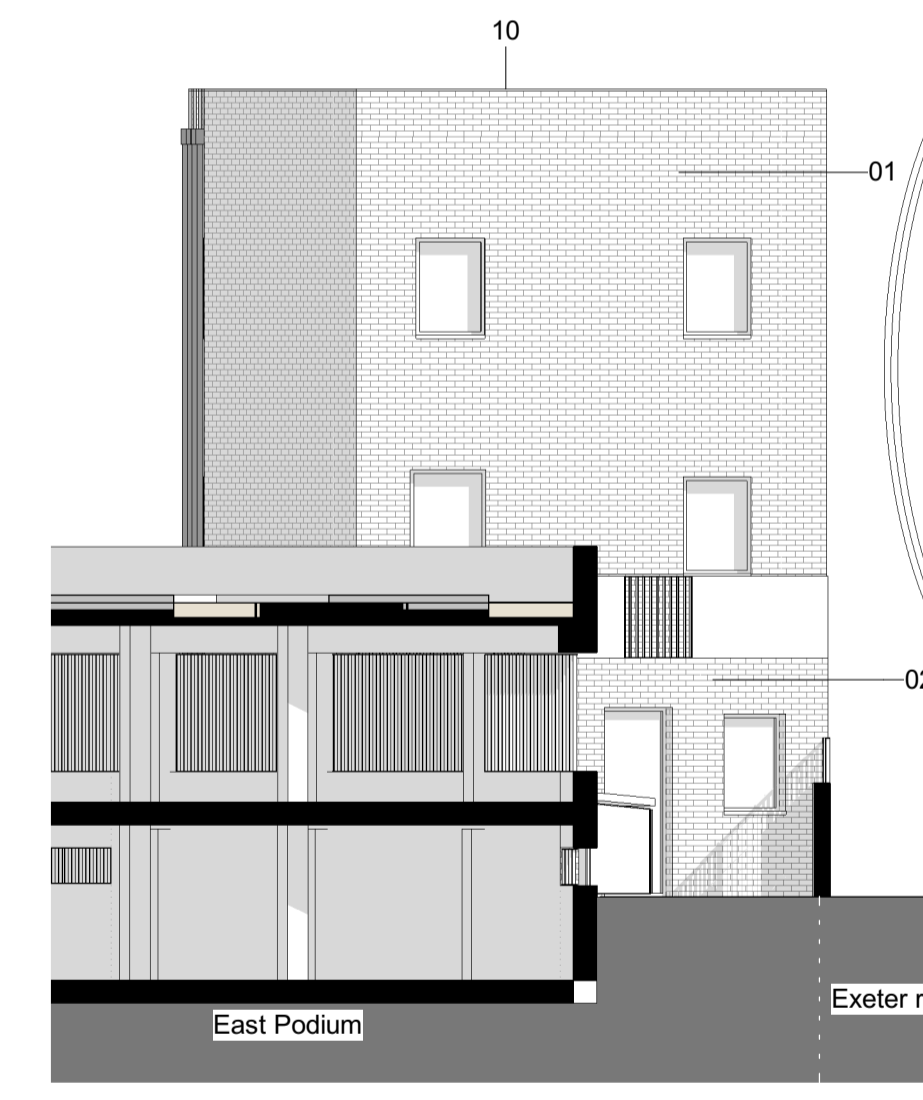
1 Block D South Elevation



3 Block D East Elevation

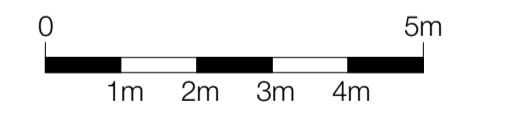


2 Block D North Elevation



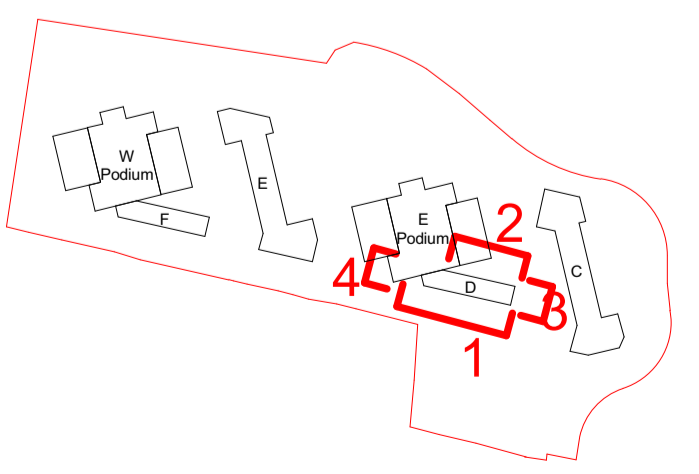
4 Block D West Elevation

Materials	
Code	Description
01	Facing brickwork Type 01: Light buff stock brick. Stretcher bond with off-white mortar
02	Facing brickwork Type 02: Mid buff stock brick. Stretcher bond with mid-grey mortar
03b	Soldier course: recess brick panel inset by 100 mm. Light buff stock brick. Stretcher bond with off-white mortar
10	Pressed metal coping. Coping to match adjuce window frames colours
11a	Window Type 01a: Double glazed PPC aluminium composite window with pressed metal sills, in RAL 7034. Recessed into brickwork min.190mm
13	Window Type 03: As 1a for maisonette entrance
14	Door Type 01: Flush door and metal frame panel PPC finished, in RAL 7034
23	Railing Type 01: Metal railing and fascia consisting of 50x10mm PPC steel flats with matching flat metal handrail. Colour to match window frames generally
24	Railing Type 02: As type 01 but with imperforated solid panel behind balustrading for privacy. Colour to match window frames generally
26a	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7034. Spandrel panel to match where shown
28	Square, 100x100mm downpipe with matching hopper and overflows as required in RAL 7034 on brickwork
30	Full Height Metal aluminium gates to match Railing Type 01
35	Electrical meter metal box in RAL 7034



Notes

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Rev	Date	Description	Drawn / Checked
P3	09/03/22	Planning Update	DP
P2	24/02/22	Planning Submission	DP
P1	09/12/21	Planning Submission	RF

Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BD - XX - DE - A - 130200

Purpose of issue
Planning

Scale
1 : 100 @ A1

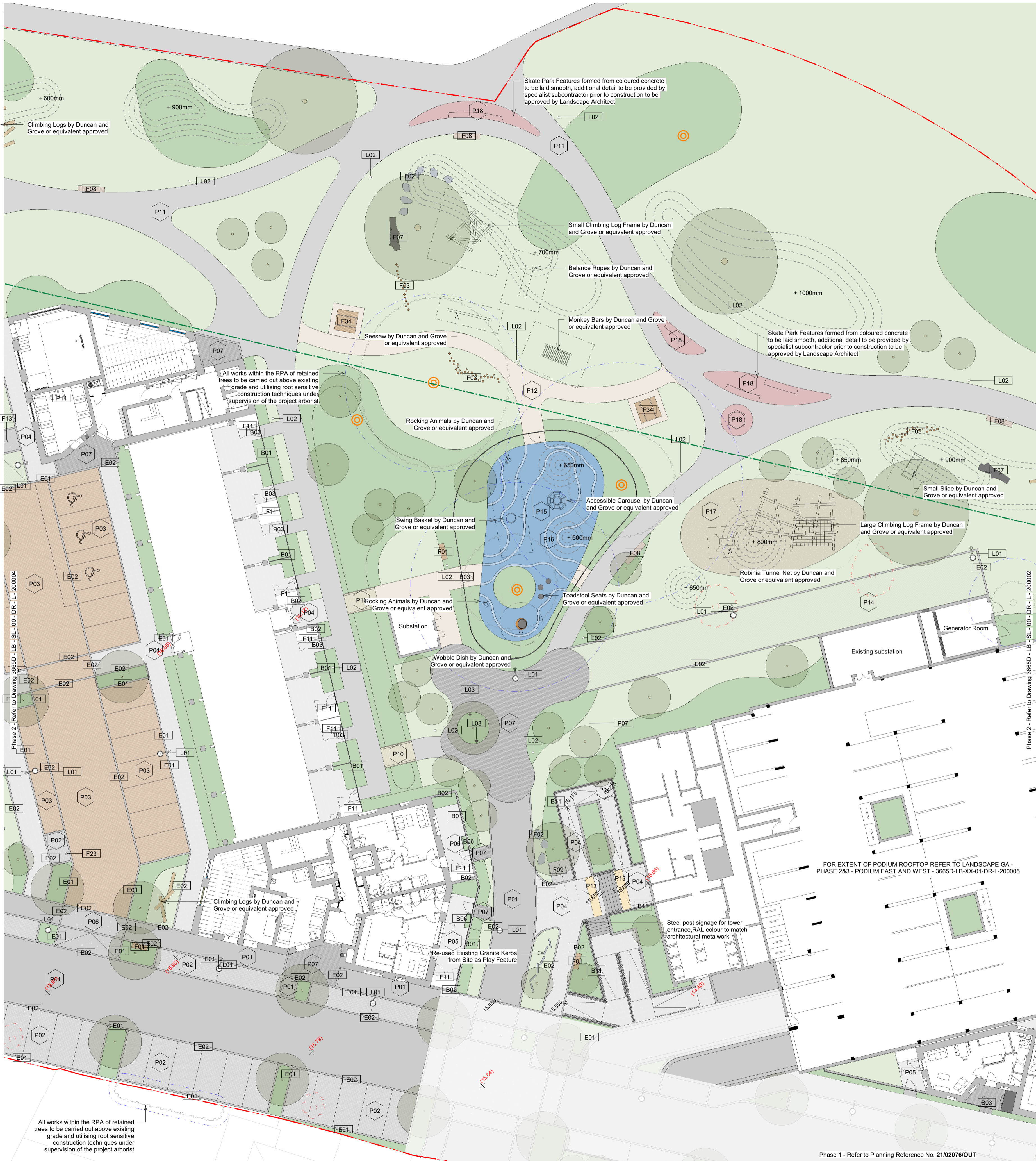
Date
10/11/21

Client
London Borough of Enfield

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Key	
	Redline Boundary
	MOL Boundary
	Existing Level
	Proposed Level
	PROPOSED TREE PLANTING Refer to Planting Plan L-9100
	TREE TO BE REMOVED Refer to Arboricultural Report
	TREE TO BE RETAINED Refer to Arboricultural Report
	PLANTING Refer to Planting Plan
	P01 Adopted Asphalt Surface
	P02 Adopted Permeable PCC Block Paving 240x160mm, Stretcher Bond, Colour: Grey Mix - 50% Pennant Grey/50% Charcoal
	P03 Adopted Permeable PCC Block Paving 240x160mm, Stretcher Bond, Colour: Burnt Ochre
	P04 Adoptable PCC Flag Pavers 600x450mm, Staggered Bond, Colour: Charcoal
	P05 PCC Pavers 600x450mm, Stacked Bond, Colour: Charcoal
	P06 Tarmac Colourchip with Stone Aggregate Colour: Silver Grey
	P07 PCC Pavers - Natural Stone Wearing Course 300x100mm, Stretcher Bond, Colour: Mid Grey Granite - Textured
	P08 PCC Pavers - Natural Stone Wearing Course 300x100mm, Stretcher Bond, Colour: Anthracite Granite - Textured
	P09 PCC Paving Band - Natural Stone Wearing Course 300x200mm, Colour: Light Granite - Textured
	P10 Timber Decking - Accoya 145x22, FSC Certified Timber with Anti-slip Grip
	P11 Asphalt Paths Colour: Black, To Match Existing
	P12 Compacted Self-Binding Gravel Path Breedon or Equivalent Approved
	P13 Tactile Paving 600x600mm, Colour: Buff
	P14 Grescrete Colour: Natural
	P15 Wapour Safety Surface Colour: Orient Blue RAL 240 40 25
	P16 Wapour Safety Surface Colour: Ar Blue RAL 240 85 10
	P17 Rubber Mulch Safety Surface Colour: Mixed Browns
	P18 Coloured Concrete Skate Features Colour: Flame Red, RAL 020 50 50
	P19 Concrete Steps Contrasting Visibility Strips, Colour: Silver Grey
	L01 Adopted Street Light, Column Colour: Black and RAL 3032 to match other metal furniture in Estate Road Square, To Engineer's Detail and Specification
	L02 Column Light - Wild Life Sensitive, To Engineer's Detail and Specification
	L03 Tree Uplighter, To Engineer's Detail and Specification
	E01 Raised PCC Kerb 125mm upstand, Marshalls Conservation X Or similar Approved, Colour: Silver Grey
	E02 Flush PCC Kerb, Marshalls Conservation X Or similar Approved, Colour: Silver Grey
	E03 Hi and Mix Granite Kerb 125mm upstand, Marshalls Conservation X Or similar Approved, 150mm Spacing, Colour: Dark Grey
	E04 Flush Steel Edge Galvanised, By Kinley or Similar Approved
	E01 Steel Railing - 1100mm High To Match Architectural Railing
	E02 Brick Garden Wall - 1450mm High To Match Building Brick Work
	E03 Steel Gate - 1100mm High To Match Architectural Railing
	E04 Brick Garden Wall - 2100mm High To Match Building Brick Work
	E05 Timber Closed Board Fence - 1800mm High FSC Certified Timber
	E06 Steel Railed Planter with House No. - 1100mm High Colour: RAL To Match Architectural Railing
	E07 Steel Gate - 2100mm High To Match Architectural Railing
	E08 Steel Railing - 2100mm High To Match Architectural Railing
	E09 Brick Retaining Wall to match adjacent building, with Railing to meet requirements of Part K
	E10 Brick Boundary Wall 1500mm High with Steel Railing above To Match Architectural Railing
	E11 Brick Retaining Wall with 150mm upstand and 1100mm Steel Railing above, To Match Architectural Railing
	E12 Steel Railing to Play Area - 600mm High To Match Architectural Railing
	F01 Concrete Bench with Timber Top Seal, By Furnitubes or Equivalent Approved
	F02 Stepping Rocks - Play Feature To be free of jaggard/steep edges
	F03 Stepping Logs - Hardwood Timber Post, FSC Certified, Sanded free of splinters
	F05 Ping Pong Table, By Ping Out or Equivalent Approved, RAL 3032 to match other metal furniture
	F06 Steel Exercise Equipment - Kabne Outdoor Gym by Mals or Equivalent Approved, RAL 3032 to match other metal furniture
	F07 Reclaimed Timber Log Retained from Trees Felled on Site Where Possible
	F08 Bench Seat To Enfield Parks Specification
	F09 Sheffield Steel Cycle Stand, By Furnitubes or Equivalent Approved RAL 3032 to match other metal furniture
	F10 Bin Store with Green Roof, Approx. 2m(L) x 1m(W) x 1.4m(H), Steel frame with timber panels, RAL colour to match building
	F11 Cycle Store with Green Roof, Approx. 2m(L) x 1m(W) x 1.4m(H), Suitable for 2x Bicycle or 1x Adapted Cycle
	F12 Bollard - Fixed 900mm High x 100mm Ø, RAL 3032 to match other metal furniture
	F13 Bollard - Dropped 900mm High x 100mm Ø, RAL 3032 to match other metal furniture
	F23 Motorcycle Ground Anchor Colour: Black
	F34 Picnic bench - By Furnitubes or Equivalent Approved
	HABITAT FEATURE Recessed Bird and Bat Box Installed on Building Facade (as per Ecologist Recommendation) and Log Pike/Insect Hotels within Planting Beds (Where Indicated)

NOTE:
 - All materials within highway boundary subject to local highways authority approval
 - All service and manhole covers to be recessed to allow paved surfaces to be in-laid
 - All service and manhole covers to be located in hardstanding when possible

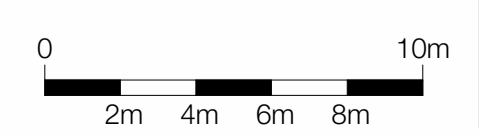
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FOR EXTENT OF PODIUM ROOFTOP REFER TO LANDSCAPE GA - PHASE 2&3 - PODIUM EAST AND WEST - 3665D-LB-XX-01-DR-L-200005

P1	08/12/21	Planning Issue	MS
Rev	Date	Description	Drawn / Checked
Project name			
Exeter Road Masterplan			
Estate Regeneration			
Drawing number			
3665D - LB - XX - 00 - DR - L - 200003			
Drawing			
Landscape GA - Phase 2&3 - Block E			
Purpose of issue			
Tender			
Scale			
As indicated @ A1			
Date			
15/10/21			
Client			
London Borough of Enfield			
<p>London Thane Studios 2-4 Thane Villas London N7 7PA +44 (0)20 7275 7676</p> <p>Manchester Bonded Warehouse 18 Lower Byrom Street Manchester M3 4AP +44 (0)161 669 8740</p>			
<p>Levitt Bernstein levittbernstein.co.uk</p>			





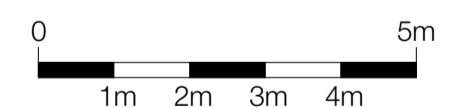
1 Block E Elevation 1

Materials	
Code	Description
01	Facing brickwork Type 01: Light buff stock brick. Stretcher bond with off-white mortar
02	Facing brickwork Type 02: Mid buff stock brick. Stretcher bond with mid-grey mortar
03a	Soldier course: Mid buff stock brick. Stretcher bond with mid-grey mortar
04	Pre-patinated green zinc cladding. Vertical standing seam widths to vary 300-600mm to suit window setting out.
05	Hit and miss brickwork. Facing brickwork Type 01
10	Pressed metal coping. Coping to match adjuce window frames colours
11a	Window Type 01a: Double glazed PPC aluminium composite window with pressed metal sills, in RAL 7034. Recessed into brickwork min.190mm

Materials	
Code	Description
11b	Window Type 01b: Double glazed PPC aluminium composite window with pressed metal sills, in RAL7009. Recessed into brickwork min.190mm
12	Window Type 02: As 1a for balcony windows
13	Window Type 03: As 1a for maisonette entrance
16	Door type 03: Composite Front Door with glazed over-panel. In RAL 7034
17	Door Type 04: PPC aluminium door with inset flush louvres and matching louvered over-panels in RAL 7034
19	Canopy Type 01: White pre-cast concrete
20	Canopy Type 02: Metal roof in Yellow grey RAL 7034 with matching soffit
22	Balcony Type 02: As type 1, but inset balcony

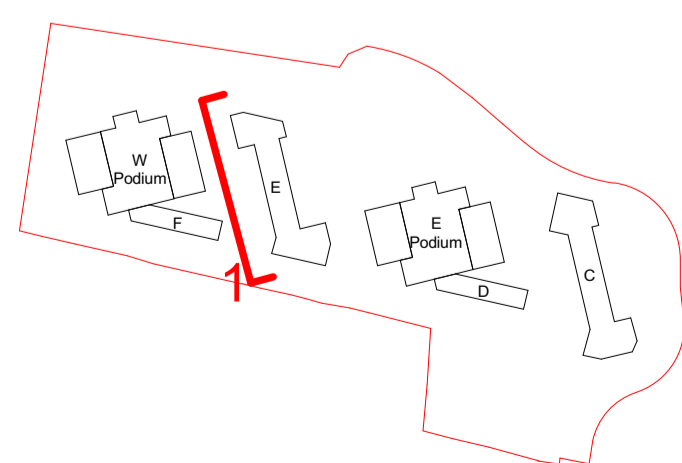
Materials	
Code	Description
23	Railing Type 01: Metal railing and fascia consisting of 50x10mm PPC steel flats with matching flat metal handrail. Colour to match window frames generally
24	Railing Type 02: As type 01 but with imperforated solid panel behind balustrading for privacy. Colour to match window frames generally
25	Railing Type 03: Metal perforated panel with pattern. Colour to match windows frames generally
26a	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7034. Spandrel panel to match where shown

Materials	
Code	Description
26b	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7009. Spandrel panel to match where shown
26c	Metal panel with flush metal, in RAL 7009. Spandrel panel to match where shown
27	Stainless stell doorbell/intercom system
28	Square, 100x100mm downpipe with matching hopper and overflows as required in RAL 7034 on brickwork
29	Stainless stell metal 3D lettering signage
32	Dry riser inlet panel. Stainless steel finish

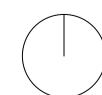


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Project name

Exeter Road Estate Regeneration

Drawing number

3665D - LB - BE - XX - DE - A - 130300 **P2**

Drawing

Block E Proposed Elevation 01

Purpose of issue

Planning

Scale

1 : 100 @ A1

Client

London Borough of Enfield

Suitability Code

11/15/21

Date

11/15/21

Client

London Borough of Enfield

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+44 (0)161 668 8740

P2	23/02/22	Planning Submission	DP
P1	09/12/21	Planning Submission	RF
Rev	Date	Description	Drawn / Checked



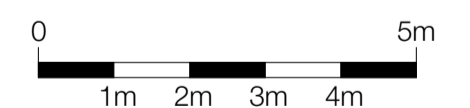
1 Block E East Elevation

Materials	
Code	Description
01	Facing brickwork Type 01: Light buff stock brick. Stretcher bond with off-white mortar
02	Facing brickwork Type 02: Mid buff stock brick. Stretcher bond with mid-grey mortar
03a	Soldier course: Mid buff stock brick. Stretcher bond with mid-grey mortar
04	Pre-patinated green zinc cladding. Vertical standing seam widths to vary 300-600mm to suit window setting out.
05	Hit and miss brickwork. Facing brickwork Type 01
06	Soffit Type 01: white pre-cast concrete
10	Pressed metal coping. Coping to match adjence window frames colours
11a	Window Type 01a: Double glazed PPC aluminium composite window with pressed metal sills, in RAL 7034. Recessed into brickwork min.190mm

Materials	
Code	Description
11b	Window Type 01b: Double glazed PPC aluminium composite window with pressed metal sills, in RAL7009. Recessed into brickwork min.190mm
12	Window Type 02: As 1a for balcony windows
13	Window Type 03: As 1a for maisonette entrance
14	Door Type 01: Flush door and metal frame panel PPC finished, in RAL 7034
15	Door Type 02: Flush door and metal frame panel PPC finished with inset flush louvres, in RAL 7034
16	Door type 03: Composite Front Door with glazed over-panel. In RAL 7034
19	Canopy Type 01: White pre-cast concrete
20	Canopy Type 02: Metal roof in Yellow grey RAL 7034 with matching soffit

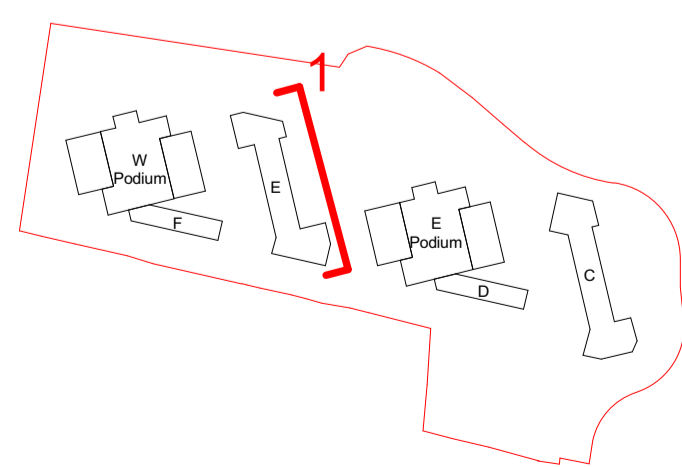
Materials	
Code	Description
21	Balcony Type 01: Bolt-on pre-cast concrete balcony smooth white with exposed concrete soffit and paved floor finish, dark grey colour paving floor finish. Railing type varies
22	Balcony Type 02: As type 1, but inset balcony
24	Railing Type 02: As type 01 but with imperforated solid panel behind balustrading for privacy. Colour to match window frames generally
25	Railing Type 03: Metal perforated panel with pattern. Colour to match windows frames generally
26a	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7034. Spandrel panel to match where shown
26b	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7009. Spandrel panel to match where shown

Materials	
Code	Description
28	Square, 100x100mm downpipe with matching hopper and overflows as required in RAL 7034 on brickwork
31	Perforated metal screen colour to match window frames generally
35	Electrical meter metal box in RAL 7034

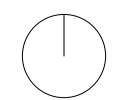


Notes

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Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BE - XX - DE - A - 130301 P2

Purpose of issue
Planning

Scale
1 : 100 @ A1

Date
11/15/21

Client
London Borough of Enfield

Levitt Bernstein
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London
Thames Studios
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Manchester
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18 Lower Byrom Street
Manchester M3 4AP
+44 (0)161 6689 8740

Rev Date Description
P2 23/02/22 Planning Submission DP
P1 09/12/21 Planning Submission RF

Drawn / Checked



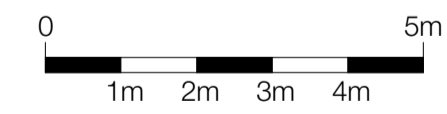
1 Block E South Elevation

Materials	
Code	Description
01	Facing brickwork Type 01: Light buff stock brick. Stretcher bond with off-white mortar
02	Facing brickwork Type 02: Mid buff stock brick. Stretcher bond with mid-grey mortar
03a	Soldier course: Mid buff stock brick. Stretcher bond with mid-grey mortar
05	Hit and miss brickwork. Facing brickwork Type 01
06	Soffit Type 01: white pre-cast concrete
07	Soffit Type 02: Metal in RAL 7034
10	Pressed metal coping. Coping to match adjience window frames colours
11a	Window Type 01a: Double glazed PPC aluminium composite window with pressed metal sills, in RAL 7034. Recessed into brickwork min.190mm
14	Door Type 01: Flush door and metal frame panel PPC finished, in RAL 7034
16	Door type 03: Composite Front Door with glazed over-panel. In RAL 7034

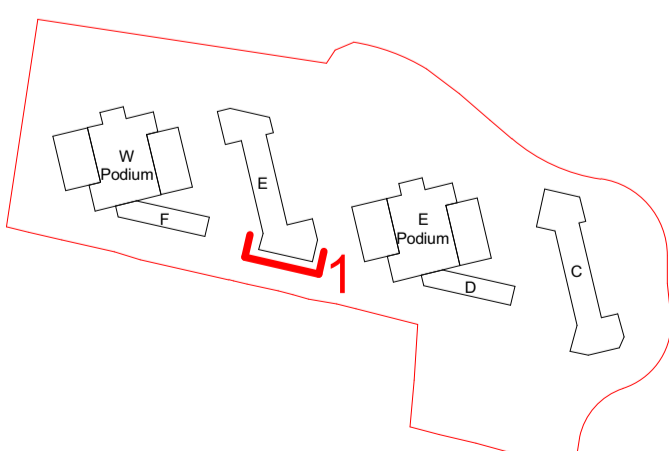
Materials	
Code	Description
17	Door Type 04: PPC aluminium door with inset flush louvres and matching louvered over-panels in RAL 7034
18	Door type 05: PPC aluminium door with louvered over-panels in RAL 7034
19	Canopy Type 01: White pre-cast concrete
20	Canopy Type 02: Metal roof in Yellow grey RAL 7034 with matching soffit
21	Balcony Type 01: Bolt-on pre-cast concrete balcony smooth white with exposed concrete soffit and paved floor finish, dark grey colour paving floor finish. Railing type varies
22	Balcony Type 02: As type 1, but inset balcony
23	Railing Type 01: Metal railing and fascia consisting of 50x10mm PPC steel flats with matching flat metal handrail. Colour to match window frames generally

Materials	
Code	Description
24	Railing Type 02: As type 01 but with imperforated solid panel behind balustrading for privacy. Colour to match window frames generally
25	Railing Type 03: Metal perforated panel with pattern. Colour to match windows frames generally
26a	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7034. Spandrel panel to match where shown
26b	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7009. Spandrel panel to match where shown
27	Stainless stell doorbell/intercom system

Materials	
Code	Description
28	Square, 100x100mm downpipe with matching hopper and overflows as required in RAL 7034 on brickwork
29	Stainless stell metal 3D lettering signage
31	Perforated metal screen colour to match window frames generally
32	Dry riser inlet panel. Stainless steel finish
33	PV Panels. Max height of panels should be no higher than the parapet height (not visible in elevation) Flush mounted if on standing seam



- Notes**
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Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BE - XX - DE - A - 130302

Purpose of issue
Planning

Scale
1 : 100 @ A1

Date
11/15/21

Client
London Borough of Enfield

Levitt Bernstein
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Manchester
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18 Lower Byrom Street
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+44 (0)161 669 8740

Rev	Date	Description	Drawn / Checked
P2	23/02/22	Planning Submission	DP
P1	09/12/21	Planning Submission	RF



1 Block E North Elevation

Materials	
Code	Description
01	Facing brickwork Type 01: Light buff stock brick. Stretcher bond with off-white mortar
02	Facing brickwork Type 02: Mid buff stock brick. Stretcher bond with mid-grey mortar
03a	Soldier course: Mid buff stock brick. Stretcher bond with mid-grey mortar
04	Pre-patinated green zinc cladding. Vertical standing seam widths to vary 300-600mm to suit window setting out.
05	Hit and miss brickwork. Facing brickwork Type 01
06	Soffit Type 01: white pre-cast concrete
10	Pressed metal coping. Coping to match adjuce window frames colours
11a	Window Type 01a: Double glazed PPC aluminium composite window with pressed metal sills, in RAL 7034. Recessed into brickwork min.190mm
12	Window Type 02: As 1a for balcony windows

Materials	
Code	Description
17	Door Type 04: PPC aluminium door with inset flush louvres and matching louvered over-panels in RAL 7034
19	Canopy Type 01: White pre-cast concrete
20	Canopy Type 02: Metal roof in Yellow grey RAL 7034 with matching soffit
21	Balcony Type 01: Bolt-on pre-cast concrete balcony smooth white with exposed concrete soffit and paved floor finish, dark grey colour paving floor finish. Railing type varies
22	Balcony Type 02: As type 1, but inset balcony
24	Railing Type 02: As type 01 but with imperforated solid panel behind balustrading for privacy. Colour to match window frames generally

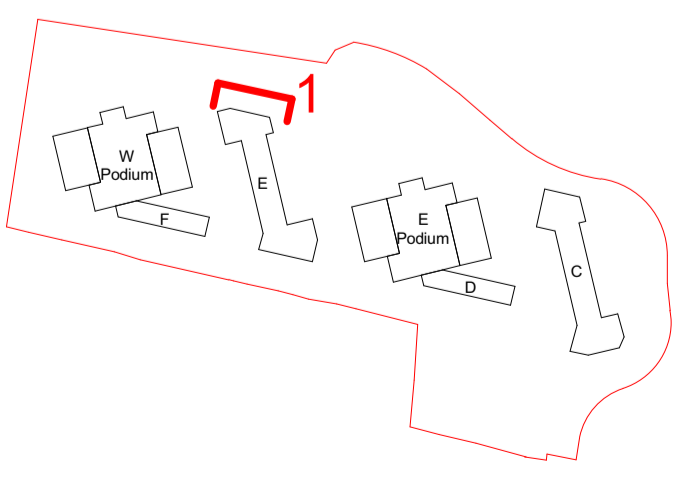
Materials	
Code	Description
25	Railing Type 03: Metal perforated panel with pattern. Colour to match windows frames generally
26a	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7034. Spandrel panel to match where shown
26b	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7009. Spandrel panel to match where shown
28	Square, 100x100mm downpipe with matching hopper and overflows as required in RAL 7034 on brickwork
31	Perforated metal screen colour to match window frames generally
33	PV Panels. Max height of panels should be no higher than the parapet height (not visible in elevation) Flush mounted if on standing seam

Materials	
Code	Description

Notes

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Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BE - XX - DE - A - 130303

Purpose of issue
Planning

Scale
1 : 100 @ A1

Date
11/15/21

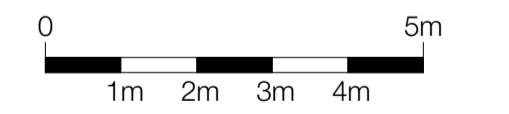
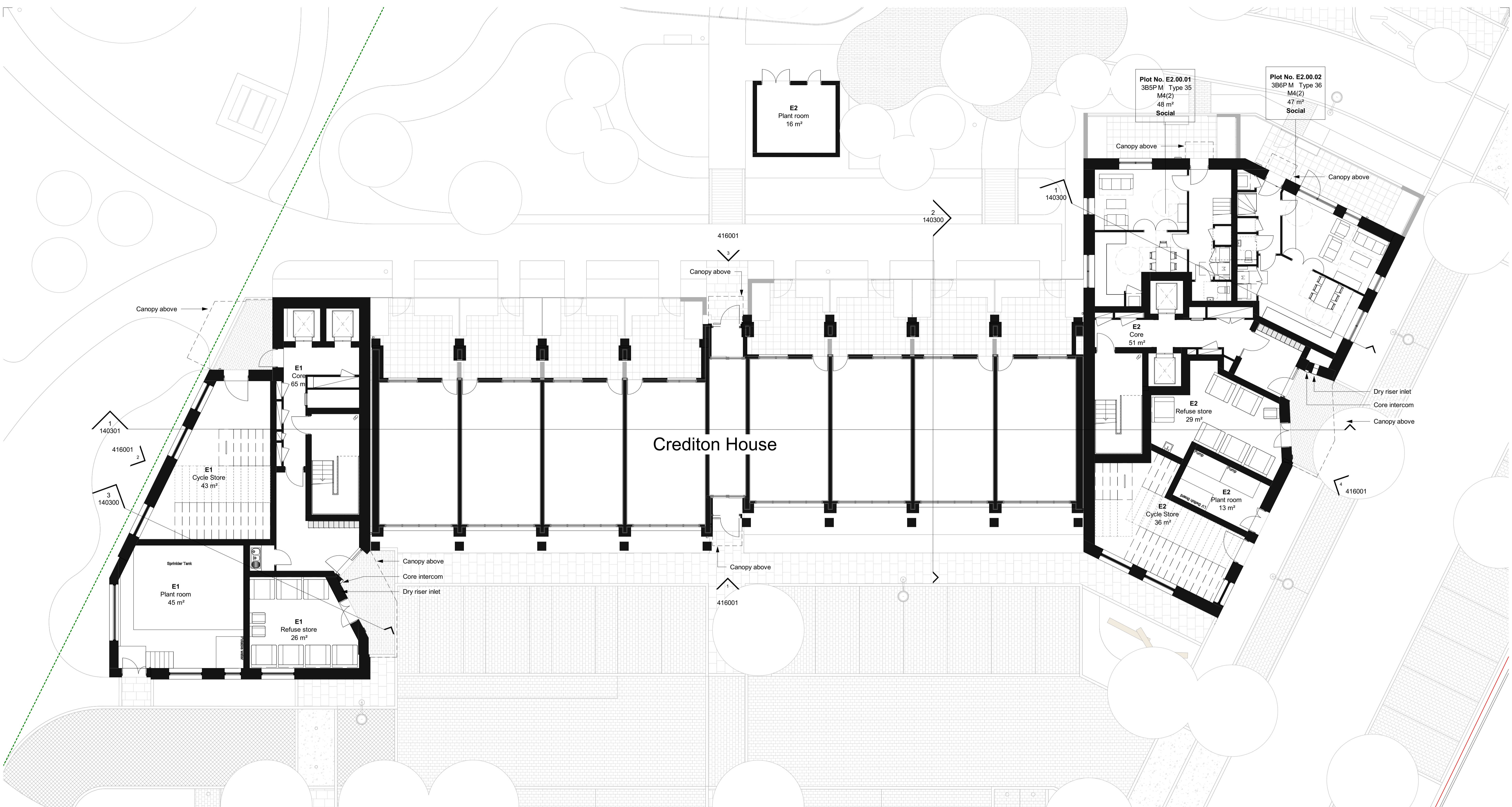
Client
London Borough of Enfield

Levitt Bernstein
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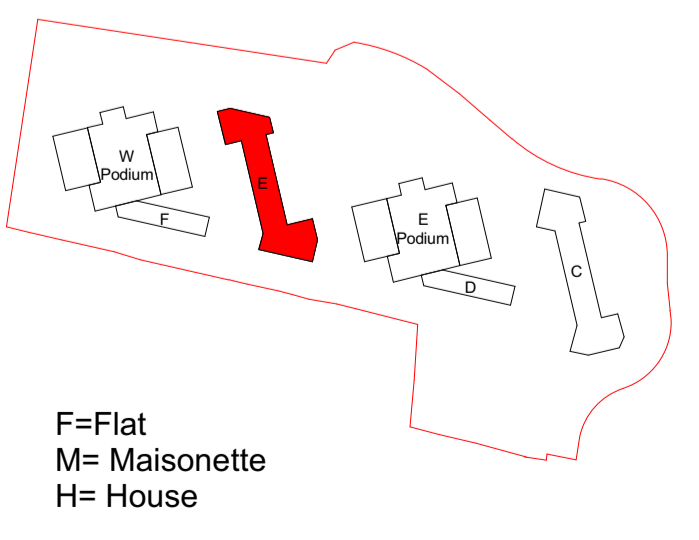
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Rev	Date	Description	Drawn / Checked
P2	23/02/22	Planning Submission	DP
P1	09/12/21	Planning Submission	RF



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F=Flat
M= Maisonette
H= House

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P2	04/03/22	Planning Update	DP
P1	09/12/21	Planning Submission	RF
Rev	Date	Description	Drawn / Checked

Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BE - 00 - DP - A - 120300 P2

Drawing
Block E Proposed Ground Floor Plan - Level 00

Purpose of issue
Planning

Scale
1 : 100 @ A1

Date
07/21/21

Client
London Borough of Enfield

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Key

- Redline Boundary
- MOL Boundary
- Existing Level (+0.000)
- Proposed Level (+0.000)
- PROPOSED TREE PLANTING (Refer to Planting Plan L-9100)
- TREE TO BE REMOVED (Refer to Arboricultural Report)
- TREE TO BE RETAINED (Refer to Arboricultural Report)
- PLANTING (Refer to Planting Plan)
- P11 Adopted Asphalt Surface
- P22 Adopted Permeable PCC Block Paving 240x160mm, Stretcher Bond, Colour: Grey Mix - 50% Pennant Grey/50% Charcoal
- P23 Adopted Permeable PCC Block Paving 240x160mm, Stretcher Bond, Colour: Burnt Ochre
- P24 Adoptable PCC Flag Pavers 600x450mm, Staggered Bond, Colour: Charcoal
- P25 PCC Pavers 300x100mm, Stacked Bond, Colour: Charcoal
- P26 Tarmac Colchicup with Stone Aggregate Colour: Silver Grey
- P27 PCC Pavers - Natural Stone Wearing Course 300x100mm, Stretcher Bond, Colour: Mid Grey Granite - Textured
- P28 PCC Pavers - Natural Stone Wearing Course 300x100mm, Stretcher Bond, Colour: Antracite Granite - Textured
- P29 PCC Paving Band - Natural Stone Wearing Course 300x200mm, Colour: Light Granite - Textured
- P16 Timber Decking - Accoya 145x22, FSC Certified Timber with Anti-slip Grip
- P11 Asphalt Paths Colour: Black, To Match Existing
- P12 Compacted Self-Binding Gravel Path Breerton or Equivalent Approved
- P13 Tactile Paving 400x400mm, Colour: Buff
- P14 Grasscrete Colour: Natural
- P15 Weipour Safety Surface Colour: Orient Blue RAL 240 40 25
- P16 Weipour Safety Surface Colour: Air Blue RAL 240 85 10
- P17 Rubber Mulch Safety Surface Colour: Mixed Browns
- P18 Coloured Concrete Skate Features Colour: Flame Red, RAL 020 50 50
- P19 Concrete Steps Contrasting Visibility Strips, Colour: Silver Grey
- L01 Adopted Street Light, Column Colour: Black and RAL 3032 to match other metal furniture in Exeter Road Square, To Engineer's Detail and Specification
- L02 Column Light - Wild Life Sensitive, To Engineer's Detail and Specification
- L03 Tree Uplighter, To Engineer's Detail and Specification

- E01 Raised PCC Kerb 125mm upstand, Marshalls Conservation X Or similar Approved, Colour: Silver Grey
- E02 Flush PCC Kerb, Marshalls Conservation X Or similar Approved, Colour: Silver Grey
- E03 Hi and Miss Granite Kerb 125mm upstand, Marshalls Conservation X Or similar Approved, 100mm Spacing, Colour: Dark Grey
- B01 Flush Steel Edge Colonnade, By Kinsey or Similar Approved
- B02 Steel Railing - 1100mm High To Match Architectural Railing
- B03 Brick Garden Wall - 1462mm High To Match Building Brick Work
- B04 Steel Gate - 1100mm High To Match Architectural Railing
- B05 Brick Garden Wall - 2100mm High To Match Building Brick Work
- B06 Trestle Closed Board Fence - 1800mm High FSC Certified Timber
- B07 Brick Raised Planter with House No. - 1100mm High Colour: RAL To Match Architectural Railing
- B08 Steel Gate - 2100mm High To Match Architectural Railing
- B09 Steel Railing - 2100mm High To Match Architectural Railing
- B10 Steel Retaining Wall to match adjacent building, with Railing to meet requirements of Part K
- B11 Brick Boundary Wall 1500mm High with Steel Railing above to total 2100mm High, To Match Architectural Railing
- B12 Steel Retaining Wall with 150mm upstand and 1100mm Steel Railing above, To Match Architectural Railing
- B13 Steel Railing to Play Area - 600mm High To Match Architectural Railing
- F01 Concrete Bench with Timber Top Seat, By Furnitures or Equivalent Approved
- F02 Sleeping Rocks - Play Feature Surface to be free of jagged/sharp edges
- F03 Sleeping Logs - Hardwood Timber Post, FSC Certified, Sanded free of splinters
- F05 Ping Pong Table, By Ping Out or Equivalent Approved, RAL 3032 to match other metal furniture
- F06 Steel Exercise Equipment - Kabele Outdoor Gym by Nida or Equivalent Approved, RAL 3032 to match other metal furniture
- F07 Reclaimed Timber Log Retained from Trees Felled on Site Where Possible
- F08 Bench Seat To Enfield Parks Specification
- F09 Sheffield Steel Cycle Stand, By Furnitures or Equivalent Approved RAL 3032 to match other metal furniture
- F10 Bin Store with Green Roof, Approx. 2m(L) x 1m(W) x 1.4m(H), Steel frame with timber panels, RAL colour to match building
- F11 Cycle Store with Green Roof, Approx. 2m(L) x 1m(W) x 1.4m(H), Suitable for 2x Bicycles or 1x Adapted Bicycle
- F12 Boltard - Fixed 900mm High x 100mm Ø, RAL 3032 to match other metal furniture
- F13 Boltard - Dropped 900mm High x 100mm Ø, RAL 3032 to match other metal furniture
- F23 Motorcycle Ground Anchor Colour: Black
- F34 Picnic bench - By Furnitures or Equivalent Approved

NOTE:

- All materials within highway boundary subject to local highway authority approval
- All service and manhole covers to be recessed to allow paved surfaces to be laid
- All service and manhole covers to be located in handstanding when possible

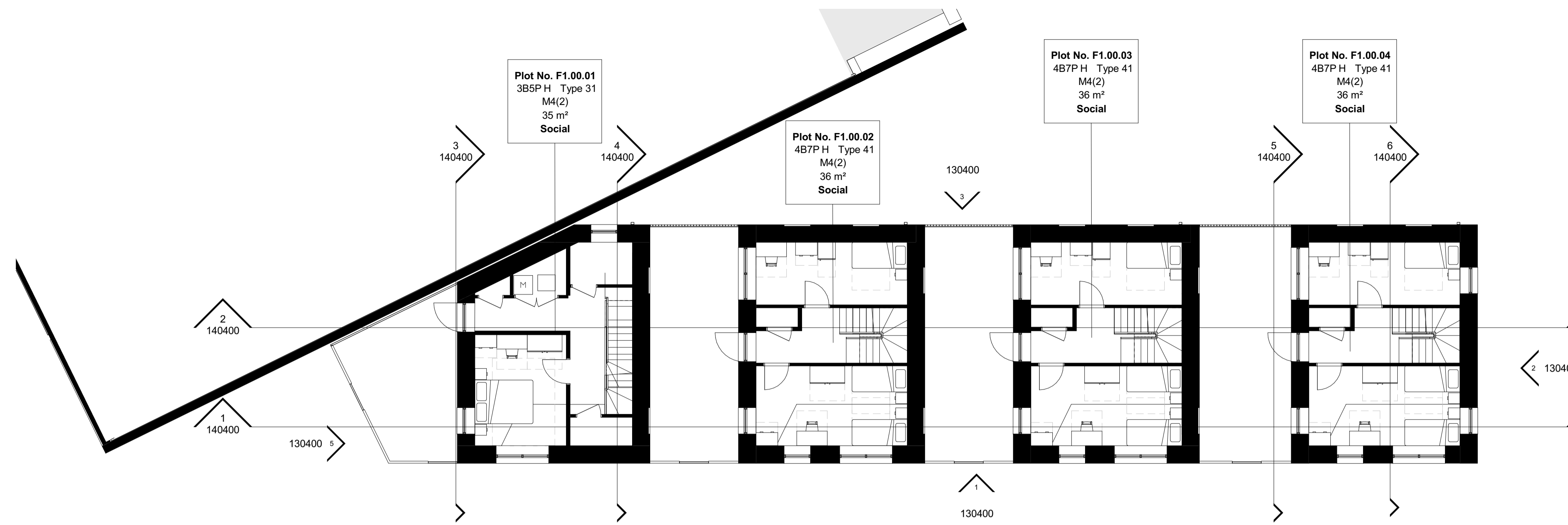
Phase 2 - Refer to Drawing 3665D-LB-SL-00-DR-L-200003

Notes

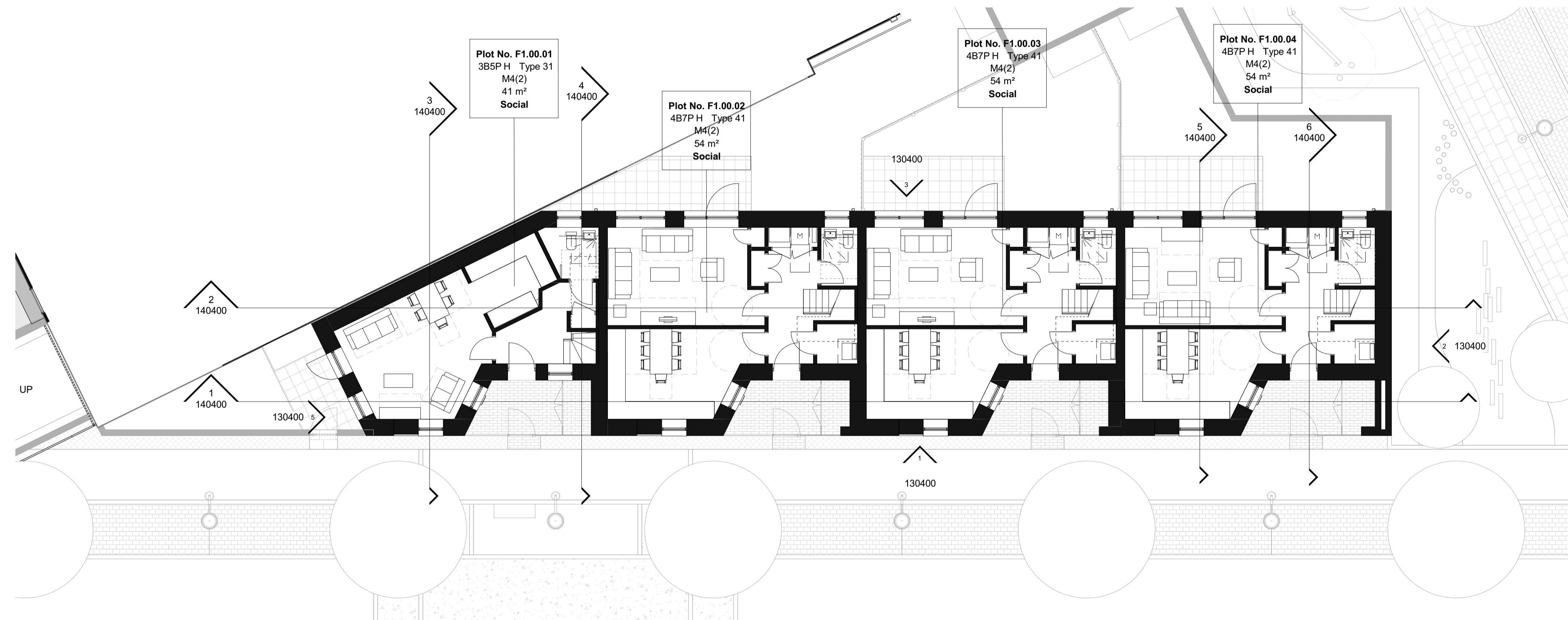
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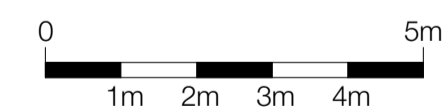
P1	08/12/21	Planning Issue	MS
Rev	Date	Description	Drawn / Checked
Project name			
Exeter Road Masterplan Estate Regeneration			
Drawing number			
3665D-LB-XX-00-DR-L-200004			
Drawing			
Landscape GA - Phase 2&3 - Block F			
Purpose of issue			
Tender			
Scale			
As indicated @ A1			
Date			
15/10/21			
Client			
London Borough of Enfield			



3 Block F First floor
1 : 100



1 Block F Ground floor
1 : 100



Notes

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M= Maisonette
H= House

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P1 09/12/21 Planning Submission RF
Rev Date Description Drawn / Checked

Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BF - ZZ - DP - A - 120400 **P1**

Drawing
Block F Proposed Ground and First Floor - Level 00-01

Purpose of issue
Information Only

Scale
1 : 100 @ A1

Date
07/21/21

Client
London Borough of Enfield

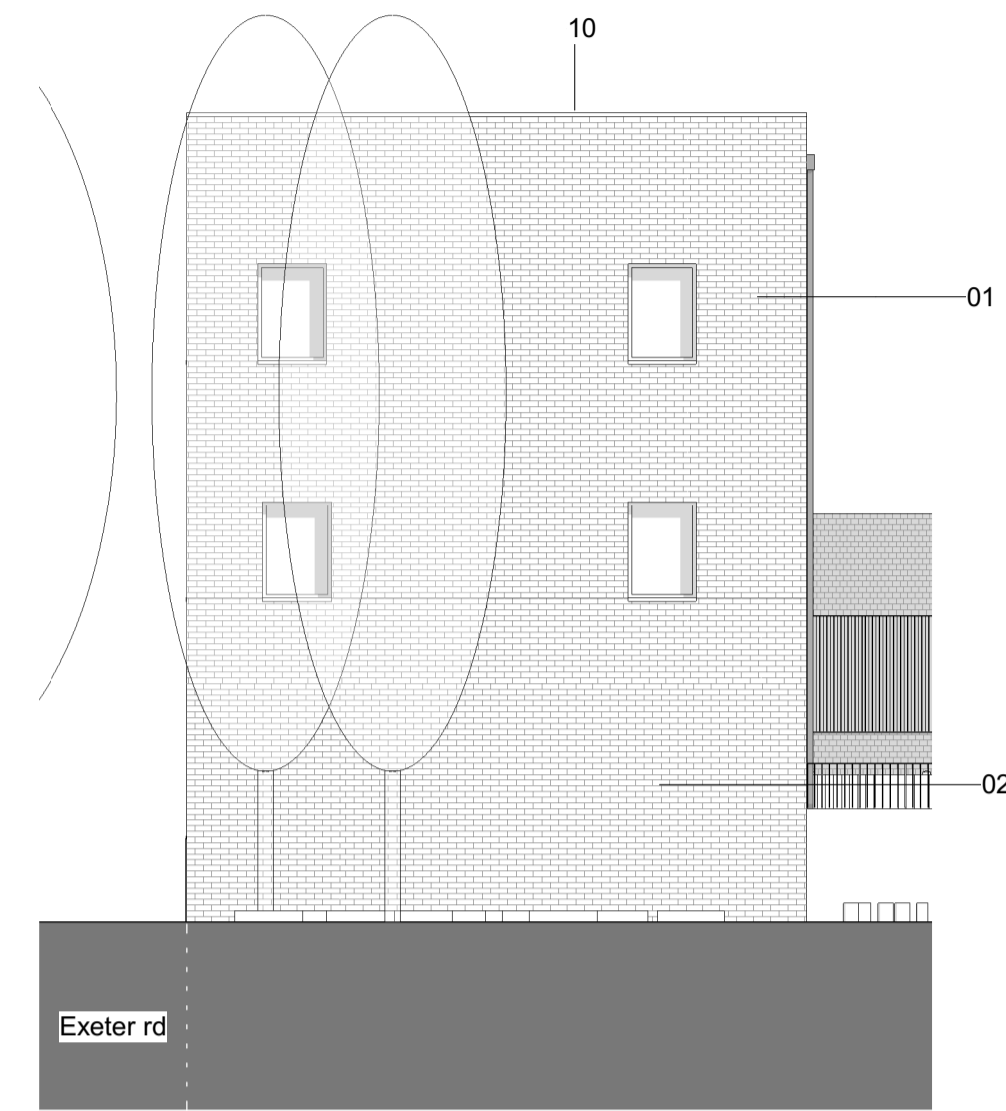
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levittbernstein.co.uk

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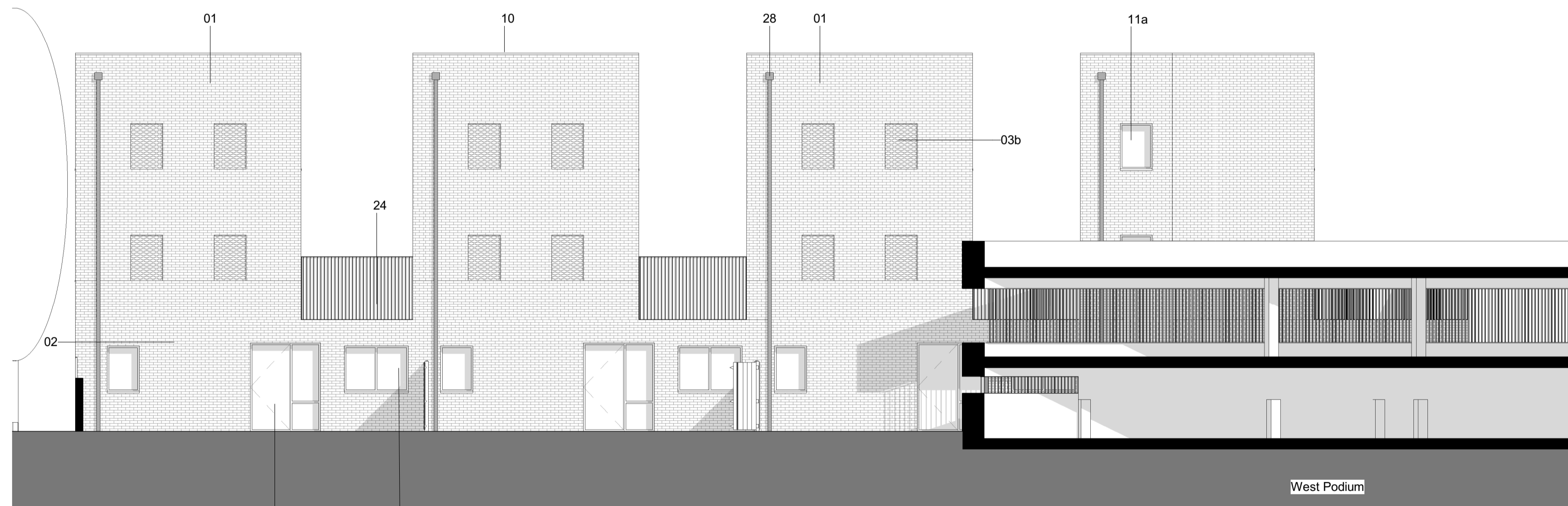
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Manchester M3 4AP
+44 (0)161 669 8740



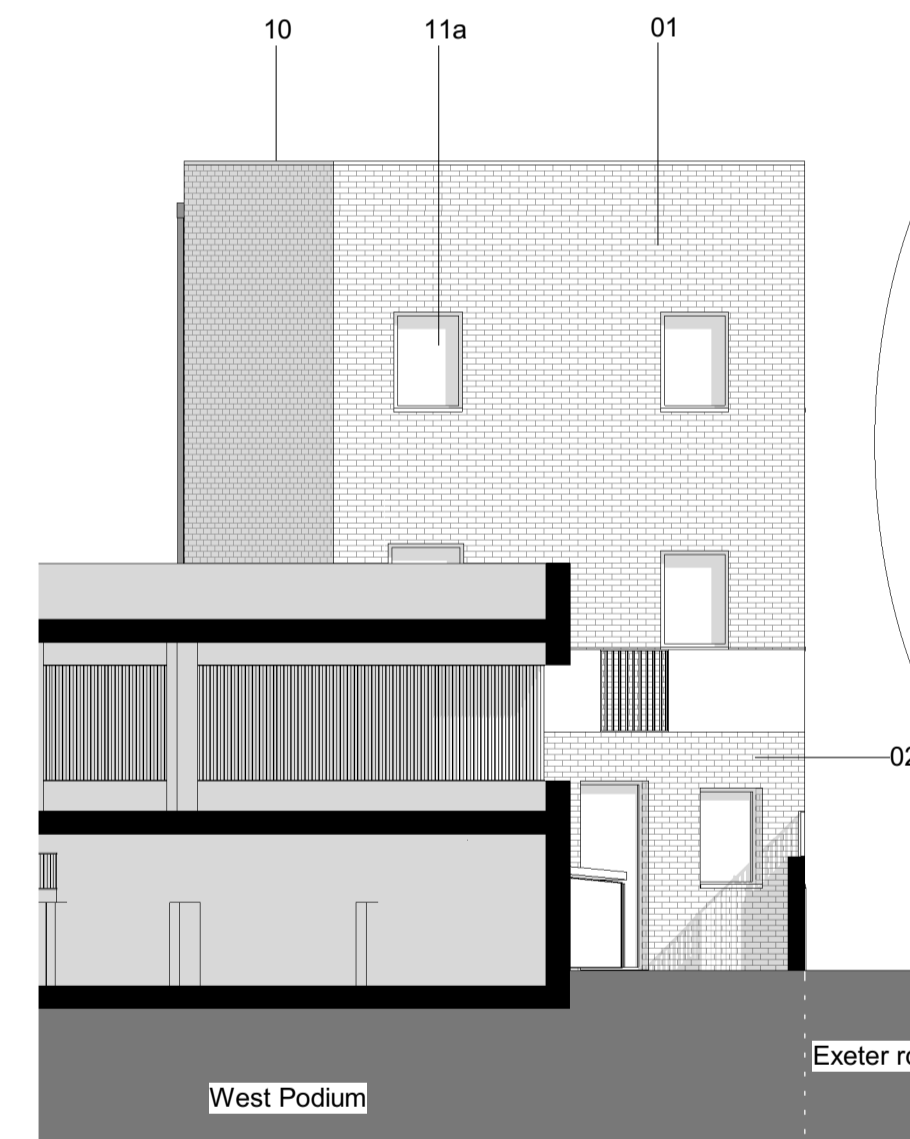
1 Block F South Elevation



2 Block F East Elevation

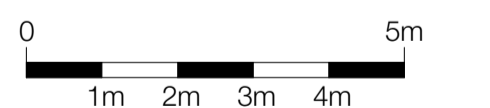


3 Block F North Elevation

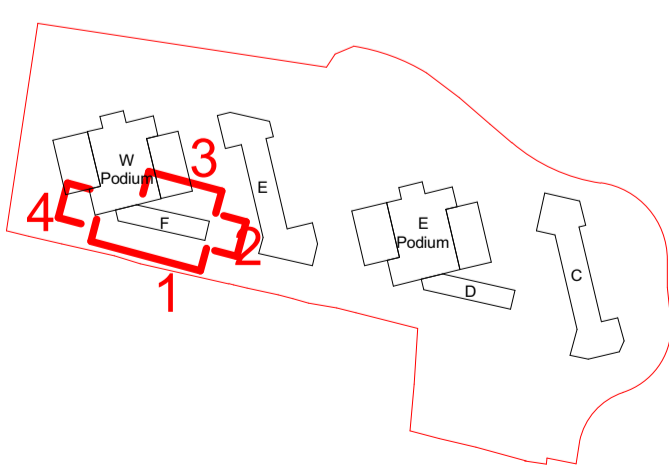


5 Block F West Elevation

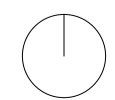
Materials	
Code	Description
01	Facing brickwork Type 01: Light buff stock brick. Stretcher bond with off-white mortar
02	Facing brickwork Type 02: Mid buff stock brick. Stretcher bond with mid-grey mortar
03b	Soldier course: recess brick panel inset by 100 mm. Light buff stock brick. Stretcher bond with off-white mortar
10	Pressed metal coping. Coping to match adjuce window frames colours
11a	Window Type 01a: Double glazed PPC aluminium composite window with pressed metal sills, in RAL 7034. Recessed into brickwork min.190mm
13	Window Type 03: As 1a for maisonette entrance
14	Door Type 01: Flush door and metal frame panel PPC finished, in RAL 7034
23	Railing Type 01: Metal railing and fascia consisting of 50x10mm PPC steel flats with matching flat metal handrail. Colour to match window frames generally
24	Railing Type 02: As type 01 but with imperforated solid panel behind balustrading for privacy. Colour to match window frames generally
26a	Metal perforated secure vent panel with flush metal opening vent/door to rear, in RAL 7034. Spandrel panel to match where shown
28	Square, 100x100mm downpipe with matching hopper and overflows as required in RAL 7034 on brickwork
35	Electrical meter metal box in RAL 7034



- Notes**
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Rev	Date	Description	Drawn / Checked
P3	09/03/22	Planning Update	DP
P2	24/02/22	Planning Submission	DP
P1	09/12/21	Planning Submission	RF

Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - BF - XX - DE - A - 130400

Purpose of issue
Planning

Scale
1 : 100 @ A1

Date
10/12/21

Client
London Borough of Enfield

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Key

- - - Redline Boundary
- - - Wetlands Proposal Boundary
- - - MCL Boundary
- - - Phase 2&3 Boundary
- **PROPOSED TREE PLANTING**
Refer to Design and Access Statement for Phase 1
- **TREE TO BE REMOVED**
Refer to Arboricultural Report
- **TREE TO BE RETAINED**
Refer to Arboricultural Report
- PLANTING**
Refer to Design and Access Statement
- PLANTING**
Proposed SuDS Area Planting
Refer to Design and Access Statement
- PLANTING**
Biodiverse Lawn Areas
- PLANTING**
Biodiverse Green Roof
- P01**
Adopted Asphalt Surface
- P02**
Adopted Permeable PCC Block Paving
240x160mm, Stretcher Bond, Colour: Grey Mix
- P03**
Adopted Permeable PCC Block Paving
240x160mm, Stretcher Bond, Colour: Buff

- P04**
Adoptable PCC Flag Pavers
600x450mm, Staggered Bond, Colour: Natural
- P05**
PCC Pavers
400x400mm, Stacked Bond, Colour: Natural
- P06**
Tarmac Colourchip with Stone Aggregate
Colour: Silver Grey
- P07**
PCC Pavers - Natural Stone Wearing Course
300x150mm, Stretcher Bond, Colour: Mid Grey
- P08**
PCC Pavers - Natural Stone Wearing Course
300x150mm, Stretcher Bond, Colour: Dark Grey
- P09**
PCC Paving Band - Natural Stone Wearing Course
300x200mm, Colour: White
- P10**
Timber Decking - Acacia
145x22, FSC Certified Timber with Anti-slip Grip
- P11**
Asphalt Paths
Colour: Black, To Match Existing
- P12**
Compacted Self-Binding Gravel Path
Bresford or Similar Approved
- P13**
Tactile Paving
400x400mm, Colour: Buff
- P14**
Grasscrete
Colour: Natural
- P15**
Wetpour Safety Surface
Colour: Air Blue RAL 240 40 25
- P16**
Wetpour Safety Surface
Colour: Air Blue RAL 240 85 10
- P17**
Rubber Mulch Safety Surface
Colour: Mixed Browns
- P18**
Coloured Concrete Skate Features
Colour: Flame Red, RAL 020 50 50

Notes

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P2	04/03/22	Planning Update	MS
P1	08/12/21	Planning Issue	MS
Rev	Date	Description	Drawn / Checked

Project name

Exeter Road Masterplan
Estate Regeneration

Drawing number Rev

3665D - LB - MP - 00 - DR - L - 200000 **P2**

Drawing

Illustrative Landscape Masterplan

Purpose of issue

Tender

Scale Date

As indicated @ A1 25/05/21

Client
London Borough of Enfield

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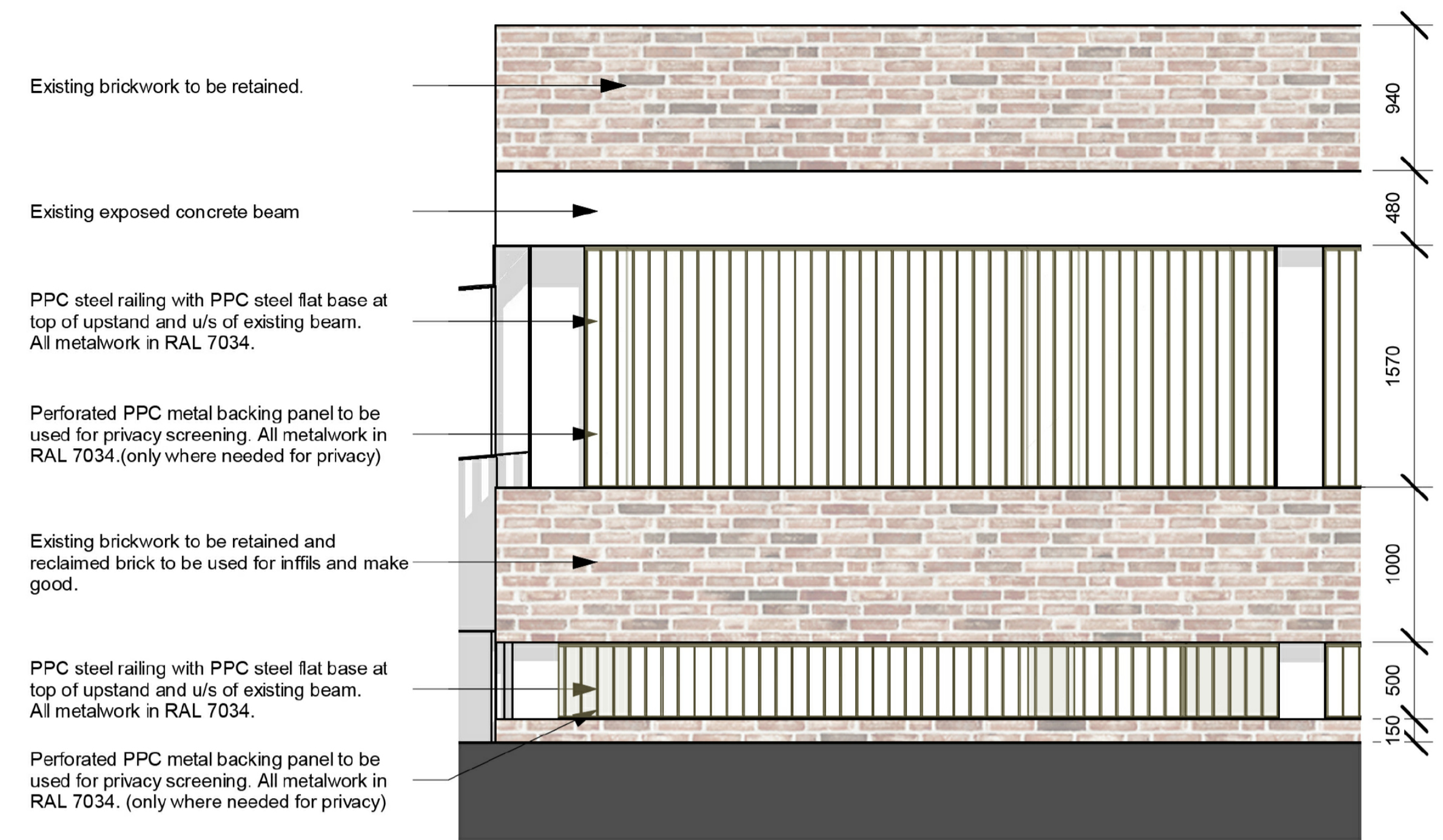
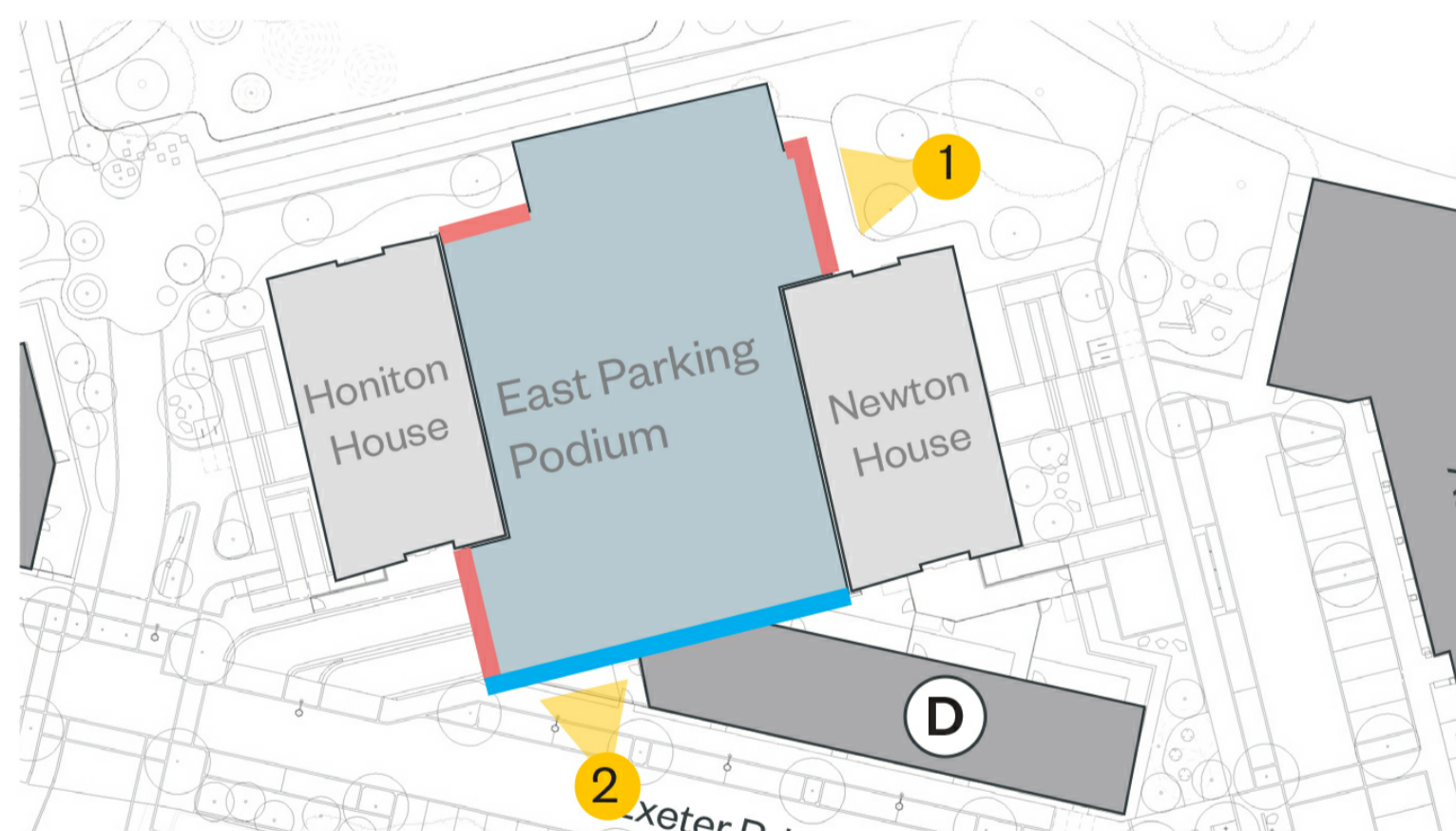
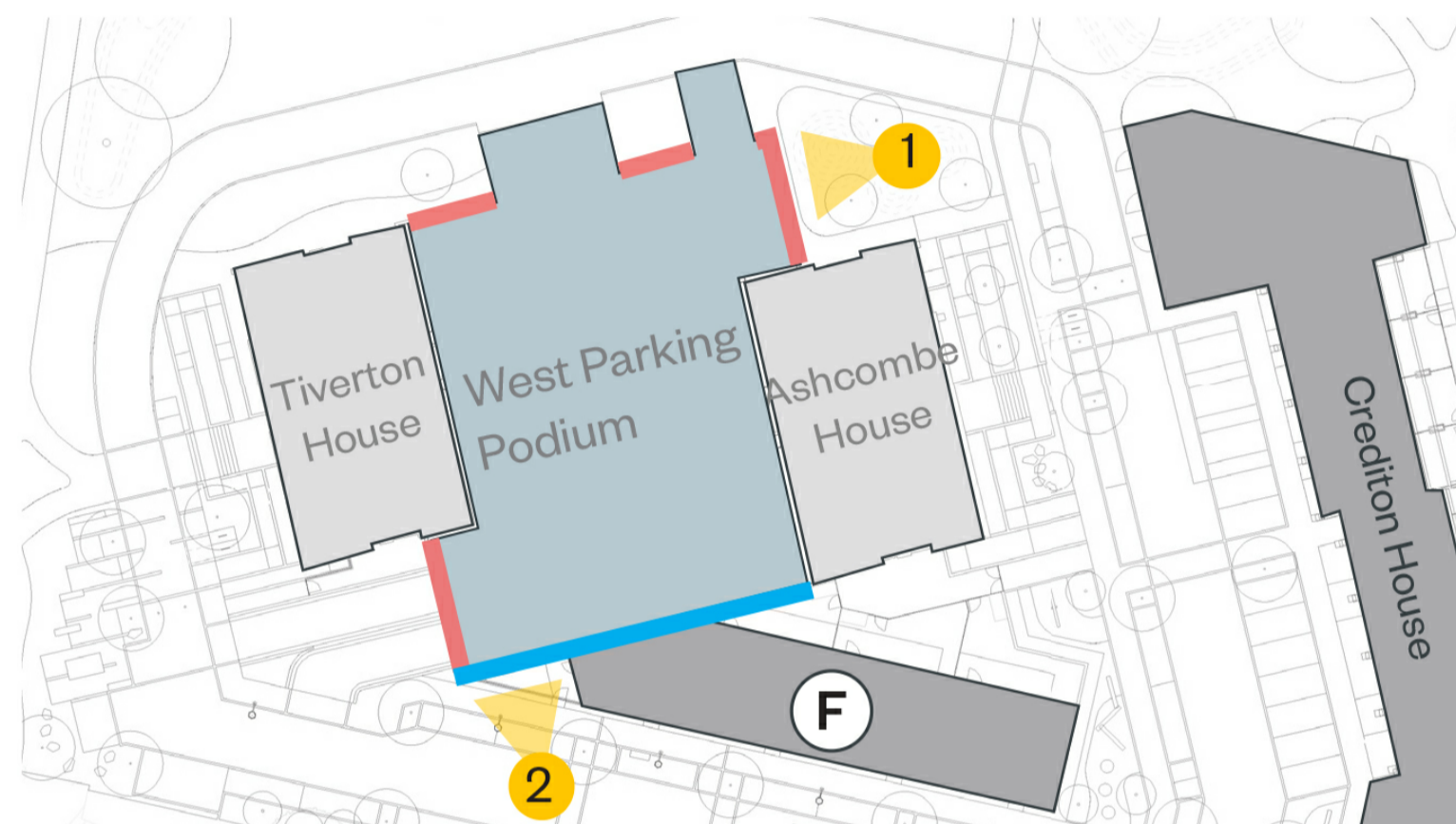
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The car park will be opened up for use by residents. The façades will be more transparent to increase natural air flow and perceived security of these spaces.

The existing brick infill panels will be replaced with railings, which will be backed with a perforated metal panel in areas where privacy would be compromised.

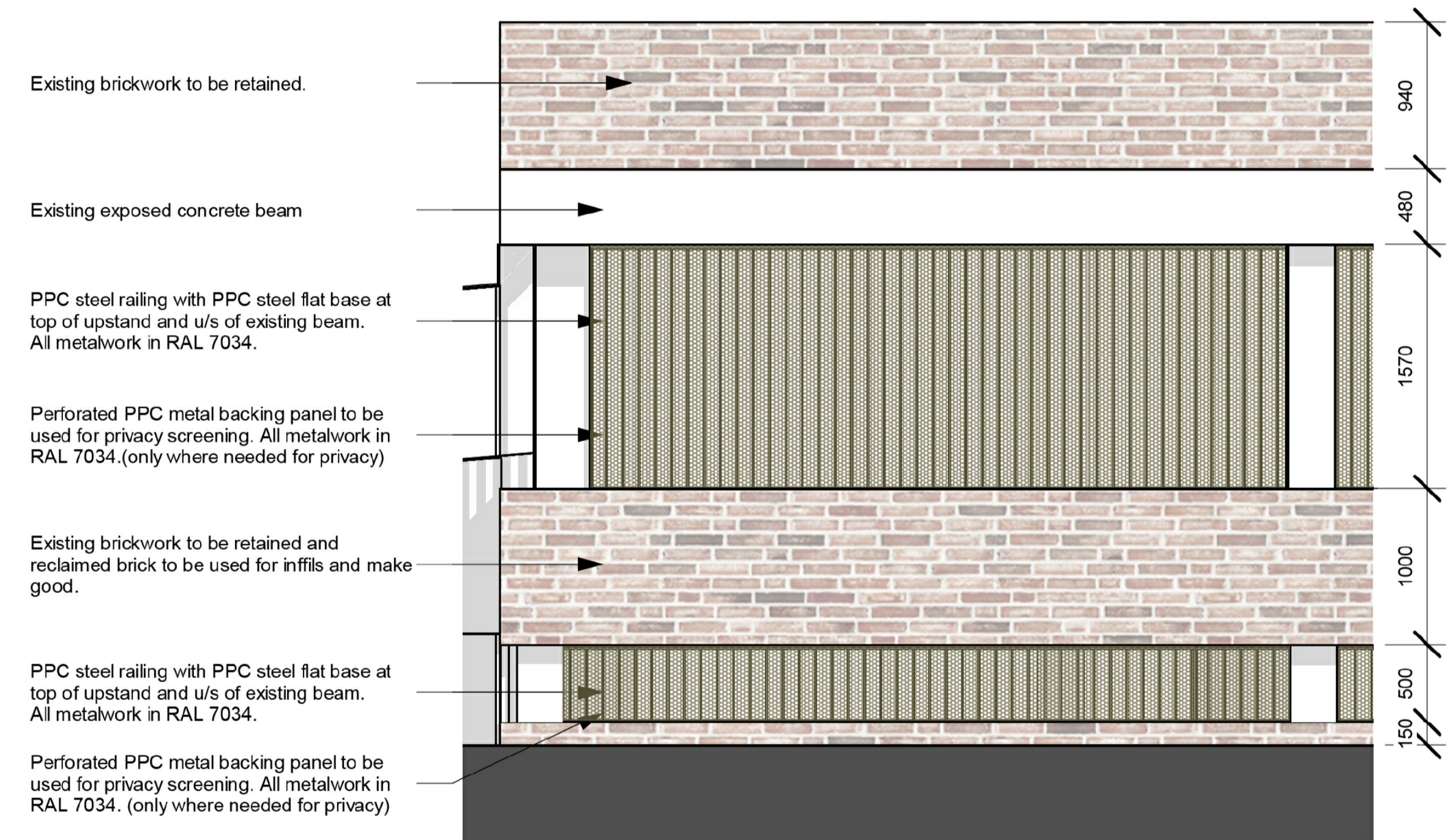
The existing ramped entrances will be bricked up to match the rest of the elevations, with railings above.

The gated entrance/exit will match the appearance of the rest of the elevation



View 1 - Car park podium elevation without privacy panel

NTS

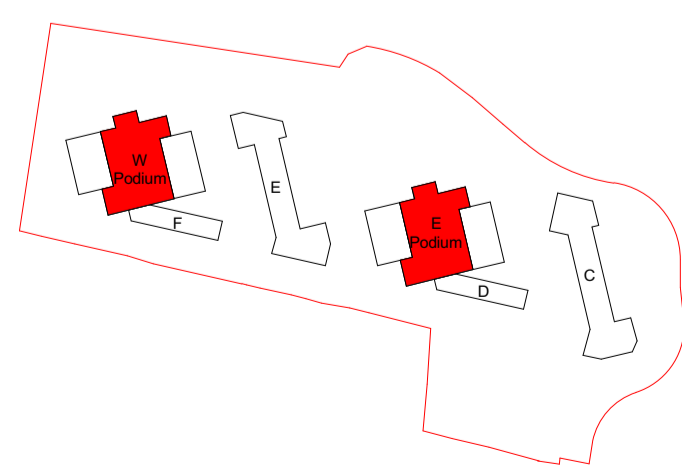


View 2 - Car park podium elevation with privacy panel

NTS

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Project name
Exeter Road Estate Regeneration

Drawing number
3665D - LB - ZZ - XX - DD - A - 710100

Rev
P1

Drawing
East and West Car Park Podium Typical Elevations

Purpose of issue
Planning

Scale
@ A1

Date
03/04/22

Client
London Borough of Enfield

Suitability Code

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Rev	Date	Description	Drawn / Checked
P1	04/03/22	Planning Update	DP

Key

- Red line: Radline Boundary
- Green dashed line: MCL Boundary
- Red dashed line: Existing Level
- Black dashed line: Proposed Level
- Green circle: PROPOSED TREE PLANTING (Refer to Planting Plan L-9100)
- Red dashed circle: TREE TO BE REMOVED (Refer to Arboricultural Report)
- Blue dashed circle: TREE TO BE RETAINED (Refer to Arboricultural Report)
- Light green square: PLANTING (Refer to Planting Plan L-200104)
- Light green square: PLANTING (Biodiverse Green Roof)
- Light brown square: P12 (Compacted Self-Binding Gravel Path, Breerton or Similar Approved)
- Black line: B01 (Steel Railing - 1100mm High To Match Architectural Railing)
- Orange circle: HABITAT FEATURE (Recessed Bird and Bat Box Installed on Building Facade as per Ecological Recommendations and Log Pile/Insect Hosts within Planting Beds (Where Indicated))

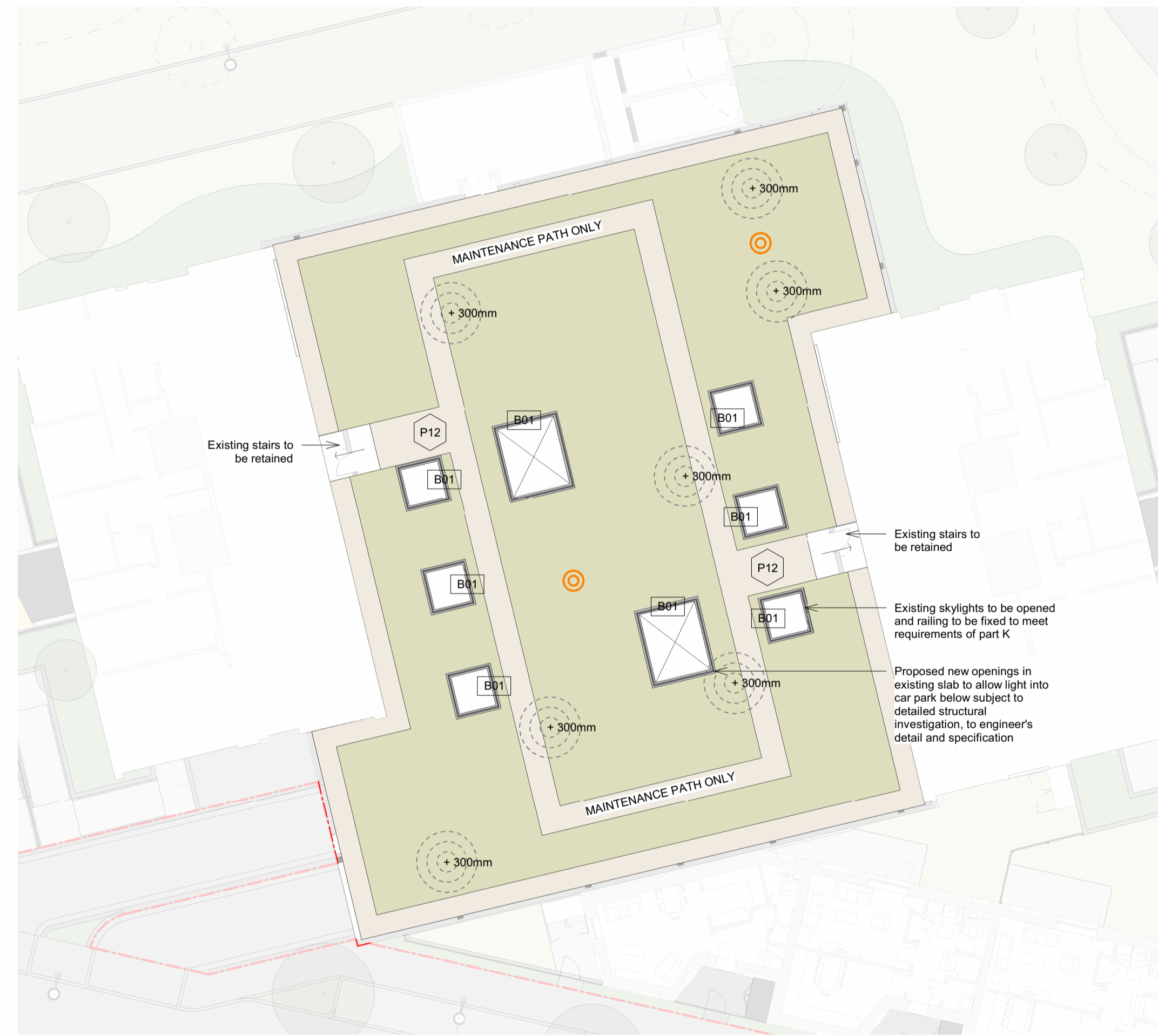
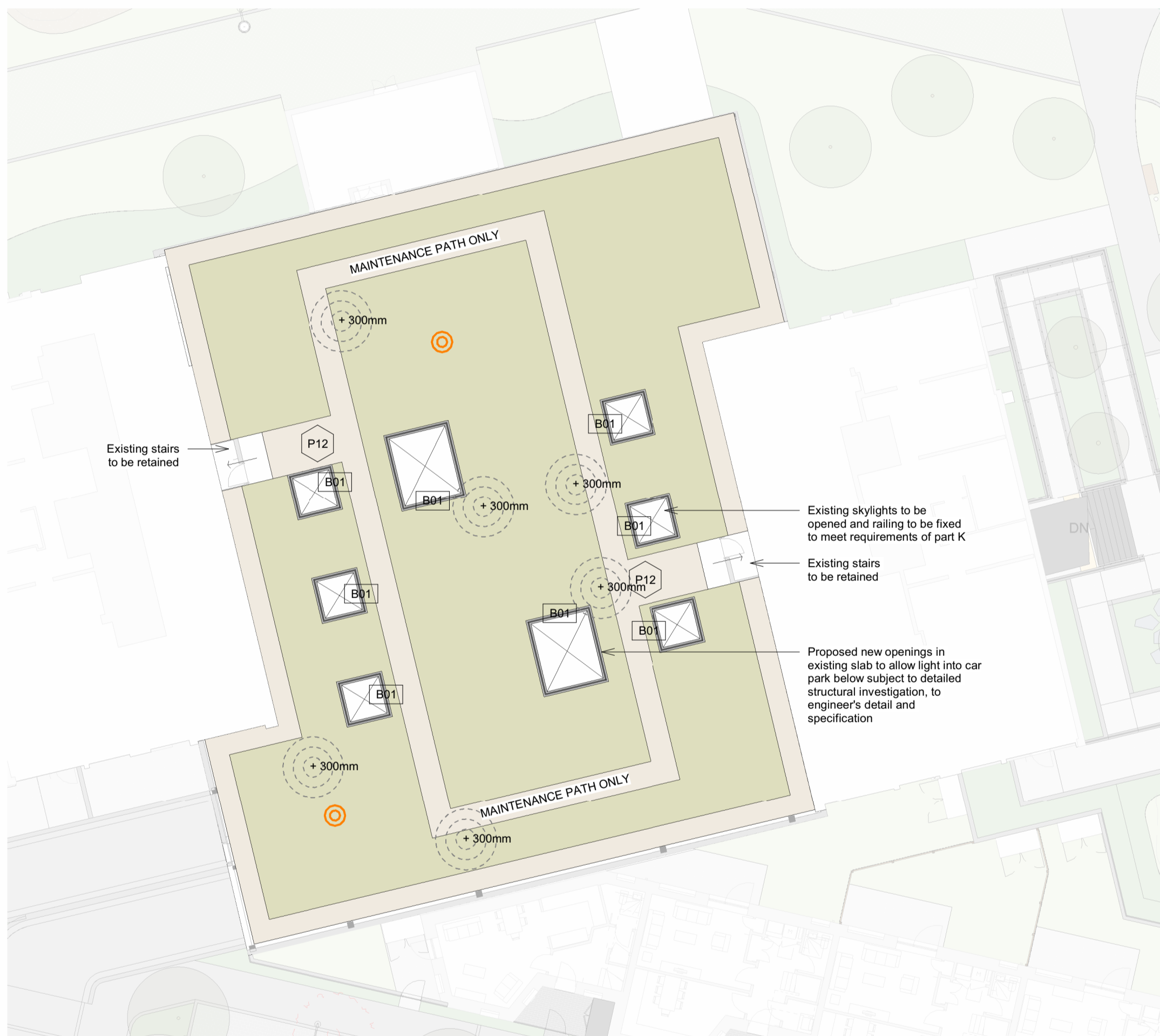
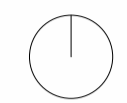
NOTE:

- All materials within highway boundary subject to local highway authority approval
- All service and manhole covers to be recessed to allow paved surfaces to be intact
- All service and manhole covers to be located in hardstanding when possible
- Roof build-up subject to specialist subcontractor design and detail
- Plans show design intent only, final designs to be subject to detailed structural investigation and detailed engineering advice

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1 | Landscape GA - Phase 2 - Podium West
1:200

2 | Landscape GA - Phase 2 - Podium East
1:200

P1	08/12/21	Planning Issue	MS
Rev	Date	Description	Drawn / Checked

Project name

Exeter Road Masterplan
Estate Regeneration

Drawing number Rev

3665D - LB - XX - 01 - DR - L - 200005 **P1**

Drawing
Landscape GA - Phase 2&3 - Podiums East and West

Purpose of issue
Tender

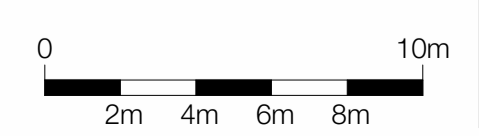
Scale Date
As indicated @ A1 15/10/21

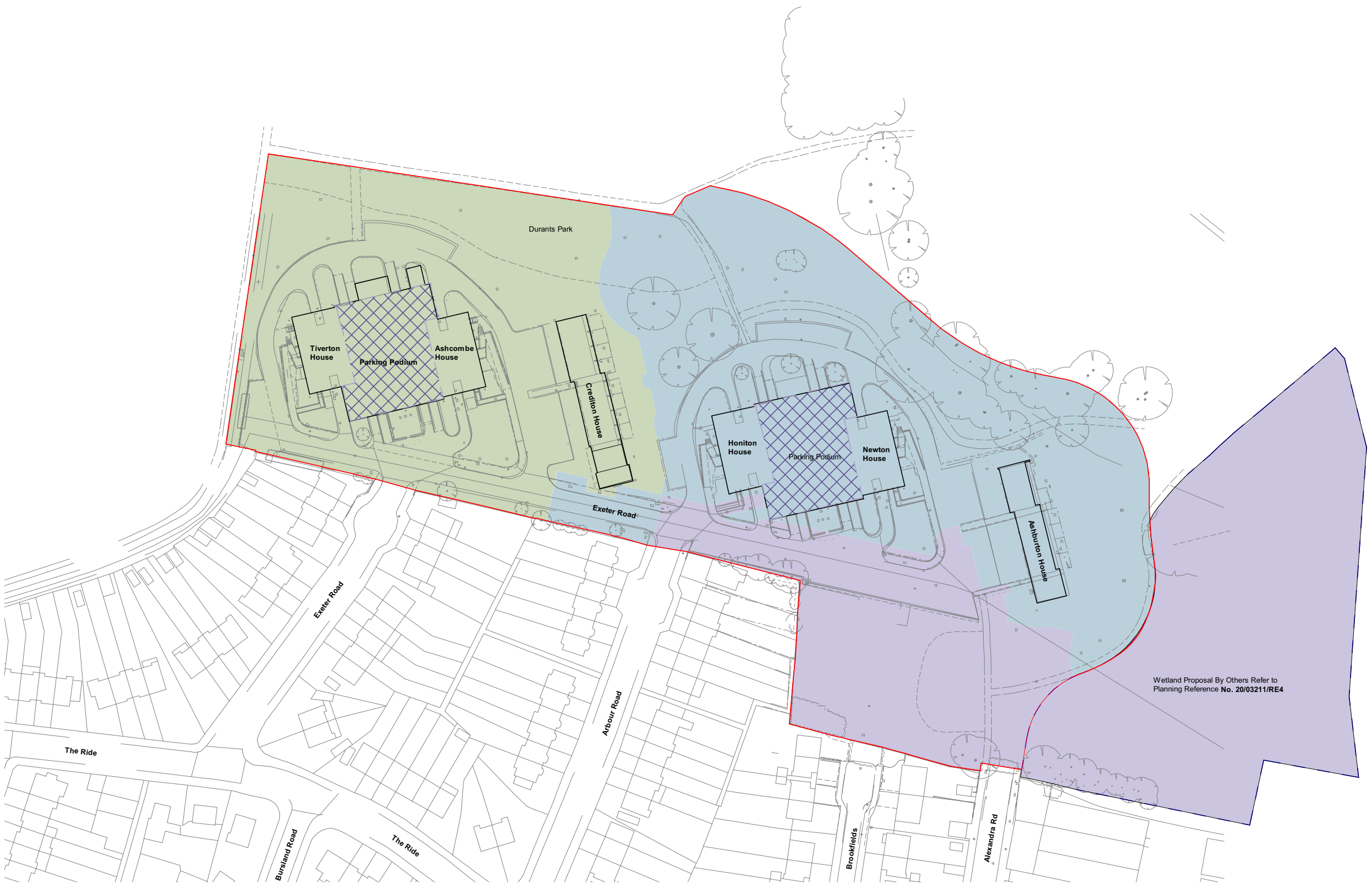
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KEY:

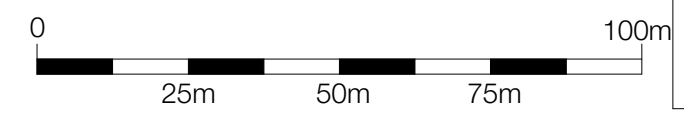
- Site Boundary
- - Land within applicant ownership
- Phase 1 Detailed Application Area (planning application granted)
- Phase 2 Detailed Application Area
- Phase 3 Detailed Application Area

P1	09/12/21	Planning Submission	RF
Rev	Date	Description	Drawn / Checked
Project name			

Exeter Road	
Estate Regeneration	
Drawing number	Rev
3665D - LB - ZZ - 00 - DP - A - 101000	P1
Drawing	

Site Location Plan	
Purpose of issue	
Planning	
Scale	Date
1 : 1250 @ A3	25/05/21
Client	
London Borough of Enfield	

1 Site Location Plan
1 : 1250



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